

PINE MOUNTAIN LAKE NEWS

APRIL
2015



FIFTY
CENTS

THE OFFICIAL NEWSPAPER OF PINE MOUNTAIN LAKE PROPERTY OWNERS

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*Spring has arrived at
Pine Mountain Lake*

PRSR7 STD
U.S. POSTAGE
PAID
ABS DIRECT

Change Service Requested

**CALLING ALL
CANDIDATES!
BOARD OF DIRECTOR
CANDIDATE INFO
SEE PAGE 5**

**BARK BEETLE
QUESTIONS
SEE PAGE 11**

**REVISIONS
TO ADOPTING
ELECTION
PROCEDURES
RESOLUTION
SEE PAGE 16**

19228 Pine Mountain Dr. Groveland, CA 95321



The Pine Mountain Lake News, established July 25, 1973, is printed monthly for residents of Pine Mountain Lake and vicinity by Pine Mountain Lake Association, Groveland, California 95321.

SUBSCRIPTION RATES:

Co-owner subscription: \$3 per year
Single copies: 50 cents each
Single mailed copies: \$1.35 each
For non-members: \$10 per year

SUBMISSION DEADLINE 10th of the month by 4:30 PM

Late submissions not accepted

Visit www.pinemountainlake.com for ad rates and submission guidelines or e-mail: PMLNews@SabreDesign.net. For the mutual benefit of all property owners, the Pine Mountain Lake News reserves the right to edit all copy submitted for publication. The Pine Mountain Lake News is a private enterprise, not a public entity, and as such is entitled to reject advertisements or articles in the best judgment of its editor or publisher, despite a probable monopoly in the area of its publication. Pine Mountain Lake Association is not responsible for, nor does it guarantee the accuracy of, information contained in any ad placed in the Pine Mountain Lake News.

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DAVID WILKINSON
Publishing Editor

PINE MOUNTAIN LAKE NEWS
P.O. Box 605
Groveland, CA 95321
Tel: 209/962-0342
Fax: 800/680-6217

E-mail:
PMLNews@SabreDesign.net

BOARD OF DIRECTORS

Jerry Dickson (President)
Mike Gustafson (Vice President)
Wayne Augsburg (Secretary)
Dana Chavarria (Treasurer)
Brian Sweeney (Director)

GENERAL MANAGER

Joseph M. Powell, CCAM, CMCA, AMS

CORRESPONDENCE TO DIRECTORS

Pine Mountain Lake Association
19228 Pine Mountain Drive
Groveland, CA 95321
PMLABoard@pinemountainlake.com

ADMINISTRATION OFFICE HOURS OF OPERATION

Monday - Friday 8:00 AM - 4:30 PM
Tel: 209/962-8600

President's Corner

BY JERRY DICKSON • PMLA BOARD PRESIDENT

Members who attended the Board of Directors meetings in February or March witnessed something that we have never done before. The Board tasked the management team with performing a year-end-review of their individual operations for 2014. This was not just a discussion of their financial performance, but an overall review. We asked them to tell us about three things that went well within their departments and three things that didn't go so well.

There were a number of reasons why we directed the management to perform this review. Mostly we wanted to get more insight into the operation of each area and to understand the challenges so that we as a Board could help our team achieve the goals that we set for them. We also wanted each manager to describe their process for improving their operation, spending, management skills, or member service.

The dialog and the Q & A between the Board and each manager was very healthy. As a Board, I believe we gained a lot from this exercise and have a much better opportunity to help our managers succeed in their operational performance. There will be some "tweaks" but I expect we will repeat this process in future years.

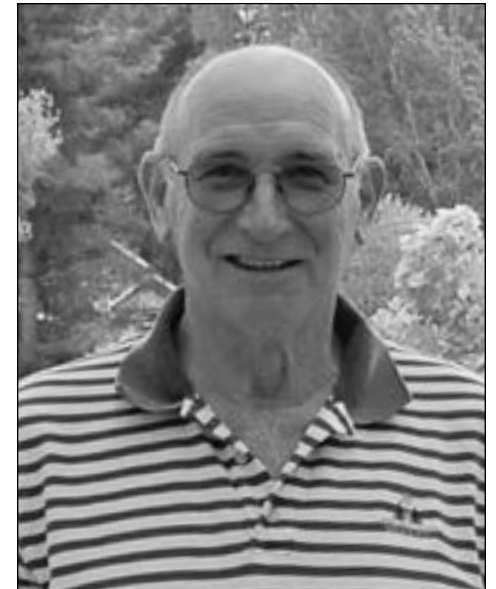
Let's talk about the drought because it could directly affect the Association financially if we don't have a really wet spring. We must prepare ourselves for the worst. The lake is about 5 feet below full

and spilling over the spillway and the snow pack is very light. The consequence of this low lake level is that our boat launch ramp is not usable. If we are unable to launch and retrieve boats this will be a big inconvenience to our members and we will see a significant reduction in revenue from our Marina boat slips.

We are looking into other boat launching alternatives (none very attractive), but the low lake levels still make a significant number of the slips unusable. This would be a big financial hit after last summers' early shutdown of slips and the crediting to slip users a big portion of their 2015 fees. If we turn that credit into a refund and don't get 2015 revenue, the budget could be in trouble.

I hate to be a doomsayer but the other big negative from the multi-year drought and increasing fire danger is we might not be allowed to do the July 4th fireworks show. We all love the spectacle and that weekend is one of the biggest of the year for all of the amities. No show, fewer visitors translate into less revenue. Not a happy thought but you all need to know what possibly is ahead.

We have Lake in our name and it is one of the most important elements in the community. Without a healthy lake we are not sound financially. So it is very important that we all do everything we can to make it rain and fill up our lake. If you have a secret rain dance it's time to bring out.



Jerry Dickson, PMLA President

HOURS OF OPERATION

Please note the hours of operation for the following amenities:

COMPOST & ARCHERY RANGE

EFFECTIVE APRIL 1
8AM TO 4PM
SEVEN DAY A WEEK
WEATHER PERMITTING

SHOOTING RANGE

TUES, THURS, SAT
9AM TO 3PM

PLEASE NOTE Hours may vary depending on weather conditions, safety concerns, or other situations beyond control. Archery and Gun Range users must check-in with compost attendant.

**HOURS SUBJECT TO CHANGE
WITHOUT NOTICE.**

**Call the Main Gate
at 209-962-8615.**

On the Cover



RAINBOW OVER PML

This beautiful shot of a double rainbow over Pine Mountain Lake was provided by Dick & Dottie Davis of PML. We hope that there was a big pot of gold at the end of that rainbow!

If you have a PML photo that you would like to submit for possible publication as the cover or inside in the PML News send the image to pmlnews@sabredesign.net. By sending the photo to us you are affirming that you are allowing the image to be published. Please include your name as you would like it published.

General Manager's Message

BY JOE POWELL, CCAM, CMCA, AMS, GENERAL MANAGER

REPORTING FIRE INSURANCE PROBLEMS

Last year we received complaints from some members that their insurance companies were canceling their fire insurance or raising rates significantly. The reason given by the insurance companies was the impact of the Rim Fire.

We worked with local brokers and provided resource information so that these members could still acquire alternative fire insurance at a reasonable cost. We published this information in the PML News and posted it to our website.

Now some members are being informed by their insurance companies that the recent ISO rating in our area is even worse and this is why insurance premiums are skyrocketing and/or coverage is being canceled. We do not believe that the reasons used to cancel insurance coverage or raising rates are valid as we are one of the most fire safe communities in California. Tuolumne County is getting involved this year as it appears the problem may be impacting citizens county-wide.

In an effort to determine the scope of the problem, the County has implemented a reporting form on their website where County residents can provide information on any problems they have getting insurance. County staff will gather and evaluate this information and provide recommendations to the Board of Supervisors.

COUNTY GENERAL PLAN REZONING ADJUSTMENTS

Back in February the County Planning Department held community scoping meetings as part of their efforts to update the County General Plan. Adjustments to the plan included a proposal to rezone areas around Groveland and PML. Even after the meeting at the Groveland Community Hall, it was unclear what impact if any would occur within PML.

I scheduled a meeting with the County staff in Sonora and went over the details of the plan. The only changes to PML zoning will occur in our greenbelts and Unit 16. The zoning changes will have no negative effect on PML and in Unit 16, will actually increase the density of housing if we ever decide to develop that property.

SWIMMING POOL RESTROOM SHOWER PROJECT

The Swimming Pool Restroom Shower project is currently on schedule and within budget. We made the decision to change out all of the fixtures with water saving automatic shut-off valves. This is part of our water savings program to mitigate the impact of the drought.

There was a concern that we may not be able to open the Pool this year due to the restrictions of the drought. We discussed water restrictions with the Groveland Community Services District and believe we can still operate our Pool this year as usual. Obviously we will continue to utilize water-saving methods to reduce the impact.

GOLF PRO SHOP LOCKER-ROOM PROJECT

The golf shop men's and ladies locker rooms were funded and approved for refurbishment this year. This is an area that has not seen a full upgrade for several decades. The project includes replacement of the old metal high school lockers with updated wood models. New carpet, fixtures and benches are included as well as upgrades to the interior of both the men's and ladies areas. Low water use fixtures are included in the plan to help mitigate the impacts of the current drought.

Demolition and removal of equipment and materials was accomplished at the end of February and through the middle of March. The plumbing and electrical work was inspected by the County with no issues. Improvements were made in accordance with the approved plans and the work continues. We anticipate completion before Memorial Weekend.

MAINTENANCE OF ROAD LEGENDS

Road legends, stops and bars are the painted areas of our roadways that indicate where roads intersect, stops and other roadway directions in accordance with the Manual of Uniform Traffic Control Devices (MUTCD). The PML Roads Maintenance Department is scheduled to conduct this work in all units in the community from May 11th through June 12th, weather permitting.

Our Maintenance Manager has been in contact with the County Roads Department to determine when they plan to paint the 12 road legends that are their responsibility.

PML CELL TOWER PETITION

Over a year ago, we contracted with an outside company who installs cell towers and sells space to cellular providers like Verizon and AT&T. The company performed a survey of our community and determined that a new tower would provide cell service to 95% of PML. They agreed to build a tower at no cost to PML and pay us a monthly fee.

The company planned to enter into contract with the large wireless providers and once they had these commitments they would begin to build the tower. Unfortunately, Verizon and AT&T have been engaged in mergers and acquisitions and are

not willing to enter into any new agreements until their operational transitions stabilize. Our cell tower contractor is optimistic that this will happen soon.

DEAD TREE REMOVAL PLAN DEVELOPMENT

The on-going drought has increased tree death within PML. Some trees die due to the lack of water and others are weakened and become infested by pests like the bark beetle. As a result some of our members are losing a large number of trees on their property. In the 1970's and 1990's PML saw similar conditions during the drought at that time. In the past the Association worked to assist members with tree removals when appropriate.

Our staff is currently researching programs used in the past and we are working to develop a plan to assist members with removal and disposal. I am making no promises as the conditions in this current drought and the glut of wood from the Rim Fire have changed the dynamics in our situation today. Nevertheless, we will continue to work on the problem.

PML PICKLEBALL CLUB PROPOSAL

The Pickleball Club submitted a proposal to the Board of Directors for consideration at the March 21st Board meeting. The Pickleball Club asked the Board of Directors to convert Courts 5 & 6 into a total of six pickleball courts. Members of the PML Tennis Club, Country Club Village Condo Association and those who both supported and opposed the proposal voiced their opinions to the Board. In the end, the Board decided to table the item until the parking issue is discussed and resolved and more information is gathered. The Board plans to hear this matter at the April Board meeting.

MOUNTAIN BIKE TRAILS PROPOSAL

The Groveland Trail Heads is a local mountain bike organization that is made up of PML members and other members of the Groveland community. In recent years, PMLA has worked with the GTH to develop plans for biking activities for PML members and guests. At the March Board meeting the GTH proposed a low/no cost plan to use volunteers in their group and the community to build mountain bike trails in Unit 16 up behind the PML Campgrounds. The idea was discussed at length and in the end, the Board approved the planning and design process and once this is finalized, it will be brought back to the Board for consideration and approval. We look forward to working with the GTH to pursue this family-fun activity.

Wishing everyone a Happy Easter!

Submission Guidelines

The PML News is the Official Newspaper of Pine Mountain Lake Property Owners

The PML News is dedicated to reporting PML Association business and PML Association news to Pine Mountain Lake Property Owners.

The PML News receives more than 100 Tuolumne County/Groveland community related submissions each month. All such community related articles and notices will appear in the PML News on a SPACE AVAILABLE basis and at the DISCRETION of the PML News Publishing Editor.

DEADLINES

Advertisements must be received IN FULL (text, MLS info, images, logos, etc.) by the 10th of the month for the following month's edition. Only advertisements received in full will be guaranteed to be published in that month's edition. NO EXCEPTIONS.

MEDIA ACCEPTED

email

SOFTWARE

InDesign, Microsoft Word, Photoshop, Illustrator or PDF.

TEXT/GRAPHICS

Handwritten text is not accepted. Material composed completely of capital letters is not accepted. Please use uppercase and lowercase letters in composition. Ink jet printed images are not accepted. Images are accepted ONLY as camera ready art, original photos (to be scanned) or as JPEG, TIFF or PDF files created with above listed software. All scans and bitmap images must be in TIFF or JPG format at least 200 dpi at 100% (300 dpi preferred). Ad files are stored for 90 days from first run date. Older ads that have not been running must be resubmitted. (See Display & Insert Advertising Contract "Design and Preparation Charges.")

E-MAIL TEXT/GRAPHICS

Text/graphics may be delivered as e-mail attachments via the Internet. Send to pmlnews@sabredesign.net.

AD DESIGN and PROOFS

Ads that are requested to be sent to other periodicals require a usage fee from the advertiser (see Display & Insert Advertising Contract "Design and Preparation Charges"). Proofs are available upon request and final proof approval for all ads is expected within 24 hours. Changes made are LIMITED to typographical or graphic placement errors. NO OTHER ADDITIONS OR CHANGES WILL BE MADE.

SUBMISSION DEADLINES

Articles — 10th each month

Ads — 10th each month

Classifieds — 15th each month

VISIT US ONLINE!
www.pinemountainlake.com



PINE MOUNTAIN LAKE
209/962-8600
www.pinemountainlake.com

ADMINISTRATION OFFICE HOURS
8:00AM TO 4:30PM – MON THRU FRI
OPEN AT 8:45AM SECOND TUES OF EACH MONTH

PAY PHONE LOCATIONS

In an emergency, call 911

- Campground (restrooms)
- Dunn Court Beach
- Lake Lodge

Press *81 on any Pay Phone to contact Main Gate.

- Main Gate (restrooms)
- Marina
- Equestrian Center
- Tennis Courts (Pine Mountain Drive)

General Info 209/962-8600
 Tina Cutright *admin@pinemountainlake.com*

Main Gate 209/962-8615
 General Safety Inquiries, gate passes,
 campground reservations, tennis reservations
campground@pinemountainlake.com

Accounting 209/962-8607
 Receivable/Collections/Assessments
 Karen Peracca *pmlar@pinemountainlake.com*

Accounts Payable 209/962-8626
 Ashley Jackson *pmlap@pinemountainlake.com*

Controller 209/962-8606
 Accounting Procedures
 Ken Spencer *controller@pinemountainlake.com*

ADMINISTRATION
General Manager
 Joseph Powell *joepowell@pinemountainlake.com*

Administrative Asst. to G.M. 209/962-8627
 Debra Durai *debra@pinemountainlake.com*

Assistant to G.M. 209/962-8604
 Ivonne Deckard *ideckard@pinemountainlake.com*

Human Resources 209/962-8628
 Allie Henderson *pmlhr@pinemountainlake.com*

E.C.C. Coordinator 209/962-8605
 Plan Submittals, Compliance Fees, Mergers
 Terri Thomas *ecc@pinemountainlake.com*

Member Relations 209/962-8632
 Gate Cards, Address Changes
 Anita Spencer *pmlmr@pinemountainlake.com*

Community Standards Dir. 209/962-1240
 CC&R Compliance/Violations/Fire Mitigation
 Dennis Pipal
communitystandards@pinemountainlake.com

DEPARTMENT OF SAFETY
Director of Safety 209/962-8633
 Natalie Trujillo *n.trujillo@pinemountainlake.com*

Sergeant 209/962-1244
 Sgt. Teri Cathrein *t.cathrein@pinemountainlake.com*

MAINTENANCE DEPT 209/962-8612
 Susan Capitanich *maintenance@pinemountainlake.com*

Maintenance Manager 209/962-8611
 Tom Moffitt *tmoffitt@pinemountainlake.com*

GOLF COURSE
Golf Course Superintendent 209/962-8610
 Alan MacDonald *amacdonald@pinemountainlake.com*

Golf Shop 209/962-8620
 Golf Pro Shop/Golf Reservations
 Doug Schmielt *dschmielt@pinemountainlake.com*

Golf Pro 209/962-8622
 Mike Cook *golfpro@pinemountainlake.com*

THE GRILL AT PINE MOUNTAIN LAKE
Restaurant 209/962-8638
 Bambi Johnson *cluboffice@pinemountainlake.com*

The Grill Manager 209/962-8640
 Jay Reis *clubmgr@pinemountainlake.com*

Head Chef
kitchen@pinemountainlake.com

19th Hole Lounge 209/962-8636
 Jamie Wortmann
19thholelounge@pinemountainlake.com

OTHER PHONE NUMBERS
Equestrian Center Manager 209/962-8667
 Jeanna Santalucia *stables@pinemountainlake.com*

PML News 209/962-0342
 Pine Mountain Lake News
 Sabre Design & Publishing *PMLNews@SabreDesign.net*

ADMIN OFFICE HOLIDAYS 2015

(ADMIN OFFICE WILL BE CLOSED)

- Mon 5/25 Memorial Day
 Fri 7/3 Independence Day
 Mon 9/7 Labor Day
 Wed 11/11 Veterans Day
 Thurs 11/26 Thanksgiving
 Fri 11/27 Day After Thanksgiving
 Thurs 12/24 Christmas Eve
 Fri 12/25 Christmas Day
 Thurs 12/31 New Year's Eve
 Fri 01/01/16 New Year's Day

UPCOMING SCHEDULE OF BOARD MEETINGS

Meetings are held at the PML Lake Lodge and start at 9 AM. (Unless otherwise noted)

April 18, 2015

May 16, 2015

June 20, 2015

July 18, 2015

August 15, 2015
 ANNUAL MEETING / ELECTION

September 12, 2015
 (2ND SAT-DUE TO 49ER FESTIVAL)

October 24, 2015
 BUDGET MEETING
 (4TH SATURDAY-BEGINS AT 8 AM)

November 7, 2015
 (NEW DATE-1ST SATURDAY)

No December Meeting

Subscribe to the Pine Mountain Lake News TODAY!

Name _____
 Unit _____ Lot _____
 Mailing Address _____

NO CHARGE for PROPERTY OWNERS (bulk)
 \$3/year for Co-Owners (bulk);
 \$10/year for Non-Property Owners (bulk)
\$18/year for PROPERTY OWNERS (1st class)
 \$28/year for Non-property owners (1st class)

Enclosed is my check in the amount of \$_____ (PAYMENT DUE IN FULL)

Send this subscription to:
 Pine Mountain Lake Association
 19228 Pine Mtn. Dr. Groveland, CA 95321
 ATTN: TINA

PINE MOUNTAIN LAKE NEWS DELIVERY

Although we guarantee that the PML News is mailed from Modesto, CA on the same day (between the 26th-30th of month), most post offices (except Groveland) sort Bulk Mail after First Class mail. So, consider a First Class delivery subscription for just \$18/yr? (\$18 per year for property owners and \$28 per year for non-property owners) Interested? Call the PMLA Office at 209/962-8632 or see form above.

NOTE: The Pine Mountain Lake News is also available (in pdf format) at: *www.pinemountainlake.com*. New editions are posted by the 1st of the month.

RULES ENFORCEMENT ACTIONS

Violations Report – February 2015

Courtesy Notices	25
Notice of Non-Compliance	1
Fines	0
Violations Pending	62

BOARD ACTION(S) VOTING RECORD

February 21, 2015 Board Meeting – Agenda Items	Board Members*					COMMENTS	
SHOULD THE BOARD...	JD	MG	WA	DC	BS		COSTS
approve the agenda?	Y	Y	Y	Y	Y	AIF Combine items 6 & 7, remove item 10	
approve the consent agenda?	Y	Y	Y	Y	Y	AIF	
authorize Golf Locker Room Project Expenditure?	Y	Y	Y	Y	Y	AIF	\$209,019
affirm Covenants Committee fine recommendations?	Y	Y	Y	Y	Y	AIF	
approve amendment to Reso 04.03 - PMLA Editorial Policy?	Y	Y	Y	Y	Y	AIF	
review Marina Parking and Wristband Policies?	o	o	o	o	o	Tabled until March/Ad-Hoc Committee to be formed	
approve donation request from Garrotte Lions Club?	Y	Y	Y	Y	Y	AIF	\$272
approve fee waiver request from SVS?	A	Y	Y	Y	Y	AIF	
approve fee waiver request from Ladies 18-Hole Golf Club (3 Events)?	Y	Y	Y	Y	Y	AIF	
approve fee waiver request from Lady Niners Golf Club (3 events)?	Y	Y	Y	Y	Y	AIF	
						Total APPROVED Golf Donations this meeting (Retail Value)	\$272
						Total APPROVED Other Donations this meeting (Retail Value)	\$0
						Total APPROVED expenditures this meeting	\$209,019
/=Absent A = Abstained AIF = All In Favor o = No Vote							
* JD=Jerry Dickson MG=Mike Gustafson WA=Wayne Augsburger DC=Dana Chavarria BS=Brian Sweeney							
MINORITY VOTES HIGHLIGHTED				NOTE: Draft – not a final Board-approved document			

2015 PMLA Board of Directors Election CALLING ALL CANDIDATES!

Pine Mountain Lake Association is seeking candidates for two (2) positions on its Board of Directors. These open seats are for three-year terms. These are voluntary positions.

Board application information is available at the PMLA Administration Office. Applications and nominations must be received no later than 4:30 PM, Friday, May 15, 2015.

Serving on the Board requires a commitment to attend monthly Board Meetings, Executive Sessions and other interim meetings, as required, and to review materials diligently prior to taking Board action.

According to CAI (Community Associations Institute), characteristics of good Board members include being fair and impartial, detail-oriented, dependable, flexible, people-oriented, a team player, punctual and able to weigh the overall good for the majority of owners against the rights, freedom and the good of the individual.

If you are interested in becoming an active participant who makes decisions for the Pine Mountain Lake Association membership and you are willing to devote your time for this purpose, we encourage you to submit an application and nomination materials for candidacy to the Pine Mountain Lake Association

Administration Office by 4:30 PM, Friday, May 15, 2015.

PML News Advertising

The Association offers each candidate one-half page (info and text to be supplied by the candidate) in the June, July, and August issues of the PML News in addition to a 450-word resume. Candidates may utilize the advertisement in any manner they choose, i.e., written statements, charts, pictures, letters of endorsement, etc. in accordance with the PML News policy.

The cost of the space in the PML News is \$200 per qualified candidate to be paid at the time the Petition of Candidacy is filed. Ads must be submitted to the PML News by the 10th of the month for publication the following month (May 10 deadline for June edition, June 10 deadline for July edition; July 10 deadline for August edition). For ad/article submission, please follow the PML News SUBMISSION GUIDELINES.

Candidates may also purchase a maximum of an additional half page of PML News space per edition (June, July, and August) at regular advertising prices.

For more information, please contact Debra Durai, Administrative Assistant, at 209-962-8627 or debra@pinemountainlake.com.

PAINT DISCOUNT PROGRAM

Kelly-Moore Paint Company has been serving Pine Mountain Lake for 40 years. They want to remind PML property owners of the discount program that has been established for them. This program offers a generous discount on Kelly-Moore paint and accessories such as rollers, brushes, tape, caulk, etc. Delivery is available on orders of 10 gallons or more. This special discount opportunity is available with

proof of Pine Mountain Lake membership (Member ID Card) on a cash or credit/debit card basis only (no checks please).

Although this program was initiated through the Sonora store, it will be honored at any Kelly-Moore Paint Company store.

If you are interested in this discount program, please call your local Kelly-Moore Paint store for details.

Contractors Performing Work in PML are Required to Follow PMLA Rules & Regulations

The following are some “*common violations.*” Please do your part to maintain a harmonious environment for all to enjoy. Remember: The PML property Owner is held responsible for those they hire.

Vehicle use:

1. Exceeding the posted speed limit
2. Driving in a reckless manner
3. Following another through an access gate or allowing others to follow you through
4. Parking on street (road shoulders OK)

Personal Conduct:

1. Allowing loud music
2. Uttering abusive language or conduct that would be offensive to a reasonable person
3. Using the property Owner’s gate card or clicker

Work Related Conduct

1. Starting work before 7am or continuing after 7pm
 2. Allowing dogs at construction sites
 3. Performing work on Sunday
 4. Cutting down a tree in excess of 5” without PMLA approval
 5. Trespassing on neighboring property
 6. Using neighbors water or electricity without written permission
 7. Leaving construction signs longer than 5 days after work has been completed
 8. Nailing signs to trees
 9. Storing building materials on street or easement
 10. Beginning exterior construction without PML Association approval
- Any Questions...call Dennis Pipal, Community Standards Director @ (209) 962-1240

PINE MOUNTAIN LAKE ASSOCIATION
SUMMARY STATEMENT OF OPERATING FUND REVENUES AND EXPENSES
For The Two Months Ended March 1, 2015

OPERATION OF AMENITIES	Revenues					Expenses			Budget (NET COST) INCOME	Variance Bud - Act	
	Members' Assessments Net of Discount	User Fees	Sales, Net of Cost of Sales	Miscellaneous Income	Total Revenues	Total Expenses	(Cost)/Income Before Depreciation	Depreciation Expense			(NET COST) INCOME
Golf Course	\$ -0-	\$ 134,432	\$ 2,937		\$ 137,369	\$ 223,097	\$ (85,728)		\$ (85,728)	\$ (105,468)	19,740
Restaurant & Bar	-0-	972	112,057		113,029	198,930	(85,901)		(85,901)	(96,607)	10,706
Marina	-0-	6,491			6,491	19,775	(13,284)		(13,284)	23,676	(36,960)
Snack Shack	-0-		3,836		3,836	7,525	(3,689)		(3,689)	(5,427)	1,738
Stables	-0-	8,293		275	8,568	26,411	(17,843)		(17,843)	(20,635)	2,792
Recreation	-0-	10,162			10,162	7,958	2,204		2,204	(7,519)	9,723
Roads & Facilities Maintenance	-0-	1,090		60	1,150	255,797	(254,647)		(254,647)	(258,659)	4,012
PROPERTY OWNER SERVICES											
Safety	-0-	15,111		194	15,305	154,290	(138,985)		(138,985)	(150,402)	11,417
Administration	-0-	24,161		430	24,591	226,093	(201,502)		(201,502)	(256,225)	54,723
ASSESSMENTS											
Assessments	784,180			13,193	797,373	9,891	787,482	132,455	655,027	640,460	14,567
Totals	\$ 784,180	\$ 200,712	\$ 118,830	\$ 14,152	\$ 1,117,874	\$ 1,129,767	\$ (11,893)	\$ 132,455	\$ (144,348)	\$ (236,806)	92,458

Notes to the Financial Statements

1. Total Revenues minus Total Expenses equals Net Income before depreciation. The annual budget for income before depreciation is (\$130,000).
2. The Association combined the Operating Fund and the Property and Equipment Fund into one fund effective May 1, 2001.

**DID YOU KNOW...
YOU CAN NOW
MAKE YOUR
P.M.L. PAYMENTS
ONLINE?**

**Now Available
Online bill pay at
PineMountainLake.com**

*Pay via your credit card
—quick & easy!*

CAPITAL EXPENDITURES 2 Months Ended March 1, 2015

	TOTAL RESERVE FUNDS	NEW CAPITAL ADDITIONS FUND	TOTAL CONTRIBUTION TO CAPITAL
2015 Beginning Fund Balances	1,846,157	\$ 119,654	1,965,811
Interest Income	502		502
Bank Fees/Discounts Taken	84		84
Assessments Earned	307,032 ⁽¹⁾	24,508 ⁽²⁾	331,540
Other Income/Expense			-
PURCHASES BY AMENITY			
Golf Course	(1,633)	(1,664)	(3,297)
Country Club	(20,364)		(20,364)
Bar			-
Marina	(16,112)	(8,952)	(25,064)
Snack Shack	(1,634)		(1,634)
Swim Center			-
Stables	(16,622)	(943)	(17,565)
Recreation	(14,732)		(14,732)
Roads & Facilities Maintenance			-
PROPERTY OWNER SERVICES			
Safety			-
Administration		(58,023)	(58,023)
Non-Capital Reserve Expenses	(115,578)		(115,578)
Total transfer to Operating Fund for property and equipment additions and reserve expenses	(186,675)	(69,582)	(256,257)
Adjusted Fund Balances	\$ 1,967,100	\$ 74,580	\$ 2,041,680

Notes to the Financial Statements

- (1) The Budgeted Reserve Fund assessment for 2015 is \$1,842,195
- (2) The Budgeted New Capital Additions Fund assessment for 2015 is \$147,050

PMLA Money Matters

BY KEN SPENCER, ASSOCIATION CONTROLLER

Do you want your assessment to increase every year? This is an example of a rhetorical question in that it is one posed without intending to elicit an answer. The almost universal response to this question would, of course, be a resounding NO! Just as it would if one were asked if they wanted the price of food, gasoline, electricity, housing, cars, etc., etc. to go up every year. Unfortunately the reality of life is that the cost of almost everything we pay for goes up far more often than it stays the same or goes down.

For the first 8+ years of my tenure as the Association's Controller I was not in the same situation as other PML residents in that I was not a property owner. Last year I was fortunate enough to purchase a home in PML and am now a full-time resident. As such I am subject to the same assessment as all other property owners. I feel that this gives me a bit more standing in expressing my beliefs on assessments since I am now one of you.

I stand with the vast majority of you in that, given a choice, I would prefer that assessments not increase. In fact I am in favor of no assessment at all. However once I wake up from this dream I realize that this is an unreasonable expectation for a number of reasons.

I love the beauty of Pine Mountain Lake and all it has to offer. I also understand that this beauty and array of amenities comes with a price. I knew there would be such a price when I purchased my home here. I accepted that reality when I signed on the dotted line. No one forced me to buy or tried to hide the fact of an assessment from me.

Once I accepted this reality the next hurdle was how much of an assessment is "reasonable". Here is the tricky part. Reasonable for one person may be something else entirely to someone else. It is all a matter of personal choice and perspective. I do know that our Board of Directors has a tough job to do in balancing the financial concerns of property owners against the need

(and legally required) duty to maintain and enhance the common areas and amenities of the Association for the enjoyment of ALL property owners.

That last statement is of particular importance since many property owners only take advantage of some of our amenities and then express concern that they have to pay assessment to maintain all of the amenities. Again this is a matter of choice since we all knew the situation when we bought here.

Another factor that affects assessment levels is the age of PML. Any facility that is 40+ years old requires more TLC than one that is 5 years or less in age. The Association has been around since 1970 and the cost to maintain many of our buildings and amenities continues to increase simply due to the toll that time takes on all things. Just remember how quickly you bounced back when you were 25 as compared to what it takes today.

Finally I look at what I am getting for my assessment compared to what I pay. The wide range of amenities and common area facilities is impressive. From the Golf

Course, Restaurant, Bar and Pool to the Stables, the Lake and Marina, Tennis & Pickleball Courts we have a myriad of things to do here. And if you don't want to do anything at all I can't think of a more beautiful setting in which to relax.

I have spoken to several people who are, frankly, amazed that our assessment is actually as LOW as it is for all that we receive. Owners at other homeowners associations can pay significantly more than we do and receive far less in the way of amenities, facilities and services.

So, do I want to pay more in assessment each year? Absolutely not. Am I willing to do so in order that Pine Mountain Lake can continue to be the place I love to work and live? Absolutely!

Well that's it for this month. If you have any PMLA Money Matters you would like to see discussed in this column in the future please drop me a line at controller@pinemountainlake.com or give me a call at 962-8606. Thanks for reading and I hope you find this monthly discussion helpful and at least a bit informative.

PMLA AUTOMATIC PAYMENT PROGRAM

Taking the time to write a check for your monthly assessment payment can be time consuming and costly. You can avoid his burden and eliminate the potential for late payment charges by enrolling in PMLA's Auto Payment Program. By completing the form, which can be found at www.PineMountainLake.com under the Resources/Forms, and returning it to the Administration Office, you can have your monthly assessment automatically deducted from your checking account or charged to your credit card. This means you never have to remember to write a check and mail it each month. The peace of mind that comes with knowing your payment will always be made on time is easy to attain. We can also arrange to have any other regular payment you make to the Association (such as golf membership, horse boarding fees, etc.) paid in the same way.

For more information on this simple, effective and time saving plan please contact us at (209) 962-8600.

NOTICE

The Pine Mountain Lake News, established July 25, 1973, is printed monthly for residents of Pine Mountain Lake and sold in the Groveland, CA 95321 area. Members can access the PML News monthly edition online at www.PineMountainLake.com. Every month the newest edition of the PML News is posted online before the first of each month. Interested parties can subscribe to the traditional "hard copy" and receive a copy by mail each month.

The PML News is mailed to approximately 3500 PML property owner households each month. Up to 500 copies are rack-sold in the local Groveland area. Our circulation reaches approximately

1200 full-time, resident, PML property owners and approximately 2300 "weekender," non-resident, property owners who maintain primary residence in Northern California, in Southern California, or in other states. For more information regarding the PML News, please call the PML Administration Office at (209) 962-8600. We greatly appreciate your contributions but please note that the PML News fills up very quickly – often by the 7th or 8th of the month (long before the 10th deadline). To ensure that your submission is reviewed for publication please submit in full and as early as possible. Please remember that the PML News is limited in capacity and your

submissions are reviewed on a first-come-first-served, space-available basis.

We publish all PMLA related submissions such as Board & Management Business, Clubs, Activities & Events. Where space remains, we publish non-PMLA related submissions in our "Community" section.

We do our best to provide timely news. If you experience delayed delivery or have misplaced a particular edition, please visit us at the PMLA website www.pinemountainlake.com for a downloadable PDF of the News posted by the 1st of the month and a downloadable PDF list of ad rates.

PML Safety Report

	February	YTD
Guest Passes Issued	723	1,564
Vendor Passes Issued	137	296
Temporary Resident Passes Issued	149	241
Vehicles Admitted	7,155	15,029
Vehicles Refused Entry	158	307
Phone Calls Received	2,762	5,840
Residential Alarm	10	15
Animal - Loose	12	27
Animal - Impounded	3	6
Animal - Dead/Injured	19	55
Animal - Disturbance	14	24
Public Assist	11	23
Welfare Check	3	4
Transport	0	1
Traffic Hazard	1	3
Traffic Control	0	0
Gate - Tamper	1	2
Gate - Follow Through	0	2
Gate - Malfunction	13	26
Gate - Struck by Vehicle	0	3
Control Burn Reported	67	151
Smoke Complaint	1	5
Residential Disturbance	1	1
Amenity Burglary	0	0
Residential Burglary	1	1
Grand Theft	0	0
Petty Theft	0	0
Trespassing	0	1
Vandalism	0	0
Property Damage - PML	1	1
Property Damage - Resident	1	1
PML Reg Violations Resident	1	4
PML Reg Violations Guest	2	6
Vehicle - Citation Issued	0	2
Vehicle - Accident PML	0	2
Patrolling Unit	435	927
Amenity Security Check	2,322	4,844
Resident Security Check	137	274
Monitoring Tennis Courts	21	30
Weapon Violation	0	2
Fixed Post	0	1
Courtesy Notice Issued	3	8
All Fees Collected	\$5,760.51	\$11,820.46

LETTERS TO THE EDITOR

LETTERS RECEIVED – 7

DENIED BY EDITORIAL COMMITTEE – 1

Exceeds 250 word maximum – 0

Content – 1

Not a property owner – 0

DEFERRED TO NEXT EDITION BY

EDITORIAL COMMITTEE – 0

DENIED BY BOARD OF DIRECTORS – 0

DEFERRED TO NEXT EDITION BY

BOARD OF DIRECTORS – 0

Submit Letters to the Editor by sending to "Editor, PML News"
Mail: 19228 Pine Mountain Drive, Groveland, CA 95321
Email: PMLNews@sabredesign.net • Fax: 800-680-6217

PLEASE NOTE THAT ALL LETTERS APPEAR IN THE ORDER RECEIVED BY THE PML NEWS

The Pine Mountain Lake News welcomes letters and articles for publication provided they meet the criteria established in the current PMLA Editorial Policy (See excerpt below – entire policy on file at the Administration Office). Letters must be limited to 250 words, typewritten using upper and lowercase letters (no handwritten material, no all-capital material) and signed with name, mailing address, PML unit/lot number, and day/evening telephone numbers by a property owner in good standing. **LETTERS MUST BE RECEIVED BY THE EDITOR BY THE 10th OF THE MONTH.** Letters deemed by the Editorial Committee to be improper will not be accepted. Readers are advised that **THE OPINIONS EXPRESSED IN THESE LETTERS ARE THOSE OF THE INDIVIDUAL AUTHORS, NOT OF PMLA, THE PINE MOUNTAIN LAKE NEWS, NOR THEIR EMPLOYEES.**

Lot Merger Math

This is a response to the comments regarding lot mergers. For one year the calculation was very good. It reflected roughly a Dollar a month increase. However, it did not reflect the cumulative cost.

2014 had 13 mergers for a loss of $2040 \times 13 = \$26,520$ in 2015

2013 had 38 mergers for a loss of $2040 \times 38 = \$77,520$ in 2015

2012 had 30 mergers for a loss of $2040 \times 30 = \$61,200$ in 2015

For those three years there was a total loss of \$165,240 in the 2015 budget year.

If you look at the total loss due to lot mergers since PML was founded, (there have been 771 mergers), the cumulative total loss in 2015 is \$1,572,840.

We cannot do anything about the mergers that have happened. We can only alter the CC&Rs to prevent future loss. If we can preserve our assessment base then we might see a decline in the increase of assessments. Please vote the next time this issue is proposed. I do not object to mergers but I do not like carrying the cost of savings gained by those who have merged. Look at the math and decide what would be fair.

D Taylor – Groveland

From Shooters

In response to Daniel Faben's statement that "...letters to the editor never include any responses from the shooters" in the PML News. As shooters, it is our personal opinion that most shooters are responsible adults who mind their own business and have more important things to do than respond to Mr. Faben's trivial shooting club issues. Perhaps Mr. Faben would be much happier moving to an area where he would be around more like-minded people.

Rick & Pearl Bladek – Groveland

Board Spending

I hope that after reading our PML Board President Message in the March issue that the people that own & live here in PML come to realize the boards spending is, and has been out of control. They are not looking for ways to cut their spending but instead continue to spend to justify increases every year. Start with

the gun range. It should not of been built, then after it was, compliants come in from residence. Our money then needs to be spent on a \$25,000 sound wall by the Board.

Then replace a existing generator with a bigger one? Why? and we also need to re-do the golf locker rooms? again just pointless spending of "our funds" Do we see a pattern here? In Ken Spencer money matters it is broken down that \$41 is for "Facilities Maintenance" not buying & spending when things are running just fine. The Administration \$33.00 of each of our payment? Where is the breakdown of this? I want to see what the saleries are & who is getting paid & last pay increases, who approved them.

Until the people in our Association vote new board people in with the intreast of finding ways to reduce our dues,& new ideas, this is the place for the "rich" & the Golfer. More Homes in Forclosure and for sale is what this arrogance board has created again this past year, Thank you, give yourself a raise.

D. Maloney – Groveland

EDITOR'S NOTE: *The Board of Directors receives no compensation for their voluntary commitment to the PML Community. (Resolution 03.03, adopted July 9, 2003).*

Help From Staff

My little dog, Cindy, and I, found ourselves in one muddy, rutted pickle early this Thursday morning coming down from the archery range. I made the poor decision to check out the trail head at Rocky Point and Branding Iron. Finding the gate locked to continue our descent to Ferretti, I had no choice but to turn around and try to climb the steep road we had crawled down. No go. Two kind men in a pickup truck took pity and gave us a lift to the compost pile, where Steve, the PML staff member on duty, fetched a colleague to help get my PT Cruiser unstuck. All these fellows were so considerate, not making me feel like a doofus. Special thanks to the PML's Steve and his co-worker for being patient with Cindy, a shelter dog with a history of abuse and neglect, who morphs into Notorious lil' C, growling and barking around men. We arrived home a couple of muddy messes, but other than that, we're good for another day. Notorious lil' C, however, is presently steering

clear of me, having retreated to her hidey-hole against the wall under the bed, saying "No more adventures with you, Toots, until I see a four-wheel drive parked out front."

I want to ensure that I express just how deeply grateful I was for the help from those gentlemen who luckily for us, happened along. What I left out of the above letter was that when I exited my car to hunt for a cell signal, despite the emergency brake being on, it began to slide downward and to the right towards the embankment. The open door nearly knocked me down. Stumbling, I was able to recover my balance sufficiently enough to quickly fall into the driver's seat, right myself, press the brake, and leave it in first gear with the wheels turned. A little later, while waiting for PML staffer Steve to return with help did I fully understand what a disaster nearly befell us. Rattled, I wouldn't even back my car down the hill out the freshly opened gate; Steve did it. If I were my dog, I'd hide under the bed from me, too.

Loretta Nardi Slocum – Groveland

Gun Range Costs and Consequences

Dear Editor,

"Although outdoor firing ranges put more lead into the environment than nearly any other major industrial sector in the United States, they remain almost entirely unregulated. In just two years a typical outdoor firing range can have lead contamination equivalent to a five-acre Superfund site." -www.noflac.org

In the March PML News, apparently to appease members who have been affected by gunfire, the PMLA President, Jerry Dickson writes "The board committed funds to build a 12 foot wall about 175 feet long behind the firing positions." A 12 foot high, 175 foot long wall? What next, an indoor air-conditioned

sound-proof building?

"Lead doesn't mix with children and the environment. Lead is one of the most deadly toxins on the planet." Read "the ways in which the shooting range industry is poisoning children and heavily polluting the environment with lead and other toxins". -EWG.org

Here are "specific things that can be done by the vast majority of Americans who do not own guns and have no interest in allowing the shooting range industry's reckless rampage to continue, ... a few examples from among many others that activists can pursue to protect kids and the environment." -<http://www.ewg.org/research/lead-pollution-outdoor-firing-ranges-poisonous-pastime>

A firing range in our community that is associated with and supported by PMLA displays a blatant disregard for human life, public safety, and the environment. I heartily agree with Mr. Faben's letter to the editor in March PML News.

Judith McEnroe – Groveland

34 Wonderful Years

On behalf of my father Hank Giorgi, and all of the Giorgi family, we would like to thank the wonderful residents of Pine Mountain Lake, for their generosity, their cards, emails, and phone calls. Hank loved Pine Mountain and his many friends and neighbors. In the short time he had moved off the hill, he constantly wanted to go back to his mountain and see the sky.

My parents had 34 wonderful years in Pine Mountain. Their life was grand, and we are grateful to all who looked after him, visited him, dined with him, and danced with him. Your friendship made him a very happy man. You have touched our hearts, and there are no words that can adequately express our gratitude.

Steven V. Giorgi – Lincoln, CA

GOT SOMETHING TO SAY?

Let your voice be heard with a letter to the editor. Submit your letter to the editor by mail to:



PML News Editor
19228 Pine Mountain Drive
Groveland CA 95321

or by email to: PMLNews@SabreDesign.net

The Re-Creation Season

BY TOM MOFFITT, MAINTENANCE MANAGER

The grasses are green and the wild flowers are in bloom, April is already upon us all again, May is waiting outside, and June will be here sooner than expected. Before we realize it, July the Fourth will be celebrated and the summer will be gone for one more year. Spring has sprung and April is the time of year that the Maintenance Department work turns to preparation for our busy summer re-creation season.

Pine Mountain Lake Association is a recreational community, with amenities and activities for just about every interest. With dining facilities, campgrounds, lake, beaches, marina, golf course, hiking trails, stables, tennis courts, bocce ball, pickle ball, volley ball, playgrounds, archery and shooting ranges, and even an airport, the seasonal preparation work can be exhaustive.

The weather window is critical at this time of year, any late rains can wash out sand and erode landscaping, timing is critical. Construction projects are conducted every year during the cold months when PML visitation is lower and the out of doors activities are on hold. This year is no exception, with the work on-going right up to the July 4th weekend extravaganza.

Lake work this year will have the Marina boat docks ready with new floats and gangways. The Fisherman's Cove docks and gangways will be overhauled and reconstructed. Swim docks, buoys, swim areas and beaches are renewed. Everything has been cooperating except the rain storms....the lake still needs water. Time to adapt and improvise?

The Campgrounds are being expanded, restoring the old abandoned upper sites to tent camping sites. With better aesthetics and views, these sites are better suited for car camping; with sites having increased spacing between sites, steeper terrain, leveled dirt pads and more vegetation. Previous fire abatement work has opened up the area for access, and the restrooms are being refurbished. When the work is completed, the area will also have greater access to hiking and walking trails.

Plans have been made and work performed to expand the hiking and walking trails throughout PML. The greenbelts and common areas have multiple existing access roads and roadbeds throughout the forested greenbelts. Having committed resources to reduce the fire hazards and reducing

vegetation, the open roads are accessible by foot and bicycle in many of the opened areas. Vehicle traffic is prohibited on these paths and roadways, and many areas also have picnic sites.

Our Tennis Courts 5/6 site is undergoing a transformation. The electric service is being restored and the court lights are working again. Enhancements are being made to the old amphitheater to give it a new life and expanded use.

The roads maintenance work is critical to the seasonal timing. The PML Streets Maintenance Crew will be painting road legends, curbing, and line striping in preparation for the seasonal visitors. When temperatures are warm, the paint will be applied, but please, give us a break by not driving through the crews and the wet paint. A significant visible change on our roads will be the warning signs. You know, those large yellow signs with black lettering -SLOW, CAUTION, CHILDREN AT PLAY. These signs are going away. INTERSECTION signs with STREET NAMES will be placed on our major roads at arterial road intersections. This will help persons find the streets they are looking for and warn them of a coming traffic intersection.

We are between the Roads Rehabilitation Project years, those huge asphalt paving projects we see every other year. We have decided to have the roads line striping performed every year. This is contracted work which is performed with specialized equipment. The line striping is on the roads with double-yellow median lines and white edge lines. Oh, and please don't drive on these lines when the truck is laying down the paint...and you know who you are... you know, the car with the yellow paint on the tires.

This is a quick synopsis of the maintenance work this season, but is just a sample of the total work. There is major work going on at the Golf Course Pro Shop, Swimming Pool, Country Club Building and the Lake Lodge this year. This work will bring us many, many years of enjoyment and recreation use.

In a time to come we will have signs to tell us all REMEMBER TO HAVE FUN WHILE VISITING PINE MOUNTAIN LAKE. So take some time, enjoy your favorite amenity this year, and take the time to re-create yourself while having re-creation.

Marina Store & Lakeside Café

BY IVONNE DECKARD, ASSISTANT TO THE GENERAL MANAGER

May 1st is quickly approaching and we will once again be open to serve our Property Owners and Guests. Last year, 2014, was the best year ever at the Marina Store and Lakeside Café and we are looking forward to an even better 2015. The Marina Store is opening May 1st and the Lakeside Café will open May 9th.

This year we would like to welcome Joanne Bacci as our new Marina Manager. Joanne has been with us for 5 years and we are pleased to have her in this new position. I would also like to welcome Paula Martell as our Lakeside Café Supervisor. I am so excited that this year we will be offering more Family-Fun Activities, Movie Nights, Friday Night Dinners, "How to" Classes, Music under the Stars and much, more. I am still looking for



more ideas and suggestions for the How to Classes. Please call me at 209-962-8604 or email me at ideckard@pinemountainlake.com. Please check our website for dates and times at www.pinemountainlake.com.

Hope to see you all out at the Marina.

Building our Community

BY TERRI THOMAS, ECC COORDINATOR

Spring has come early to Pine Mountain Lake. A time for new beginnings and certainly for me, as I start my new position as ECC Coordinator for PMLA.

Starting a new job is always a challenge. However, I have been very fortunate to have the guidance of our knowledgeable, experienced committee members to help navigate the rules and guidelines of the building activity in Pine Mountain Lake.

Currently, we are in the process of updating the ECC Rules, Guidelines and Construction Standards booklet which, coupled with the Pine Mountain Lake By-Laws and Declaration of

Restrictions, set forth the building standards within our Home Owner's Association. I recommend that any property owner planning improvements to their property review these documents prior to submitting their project to the Environmental Control Committee. These documents are available to purchase at the Administration Office or for free on our website at www.pinemountainlake.com.

So, as spring turns to summer and the building projects really take off, I look forward to working with property owners and contractors as we continually update and improve our beautiful community.

Guest & Renters Handbook is Available Online!

You can now view or print the Guest and Renters Handbook from the PML Website.

Go to our website at: www.PineMountainLake.com and click on Governance then Community Standards. Then click on Guest and Renters Handbook at the bottom of the page. This handbook has valuable information for Guests and Renters in Pine Mountain Lake.

NOTICE

Main Gate personnel are available to issue gate cards on Saturday & Sunday from 8:30 AM to 4:30 PM.

Please call in advance to schedule an appointment at

209-962-8615

WWW.PINEMOUNTAINLAKE.COM
FACEBOOK.COM/PINEMOUNTAINLAKECA

FIREWOOD – FIREWOOD – FIREWOOD**Firewood Cutting Is Here
PML SLASH and COMPOST SITE****OAK and CEDAR
Requires a \$20 PML Wood Cutting Permit****Wood Cutting Permits Available
at the Maintenance Facility****PINE and FIR
Available for free CUT & HAUL****For more information please contact
Susan at (209) 962-8612 between the hours
of 7 am to 2:30 pm, M-F.****ALL PMLA HOMEOWNERS
EMAIL OPT-IN PROGRAM**

The Association is pleased to offer a money saving program available to all PMLA property owners. This program allows you to receive many of the documents we are required to provide to you via email. This option is important because:

Cost Savings – The Association is spared the expense of printing and mailing many documents to those property owners who sign up.

Environmental Savings – Less paper means less trash and reduced damage to the environment both in the disposal and production of paper and envelopes.

Reduced Clutter – By receiving documents via email there is less paper for you to deal

with. All documents can be saved on your computer and viewed at your discretion.

Timely Receipt – Documents sent electronically are received in minutes as opposed to the days it takes for regular mail to arrive.

If these sound like good reasons to you, please sign up for the Document Email Program today using the attached form. Simply return the completed form to the Administration office at your convenience.

If you have any questions on this program please feel free to give us a call (962-8600) and we will be happy to explain the details and the advantages.

Please read the Terms & Conditions for the email opt-in program on the website, www.pinemountainlake.com under the Resources/Forms > Opt-In Email Program.

Mail form below to:

Pine Mountain Lake Association • 19228 Pine Mountain Drive • Groveland, CA 95321

YES, I want to enroll in PMLA's email statement and document service. I acknowledge and agree to the terms and conditions set forth above as a condition for participation in this service.

PMLA Account Number: _____ Unit/Lot #: _____

Name: _____ Phone #: _____

Address: _____

Email Address: _____

Signature: _____

Trash Talk

BY NATALIE TRUJILLO, DEPARTMENT OF SAFETY

I'm glad you're here, we've got some trash talking to do. Well trash as in garbage, refuse, litter, junk, you get the idea. In last month's paper, Ken Spencer, our Pine Mountain Lake Controller, succinctly broke down our Association's assessment allocations (say that five times fast). Near the top of that list were Facilities Maintenance and the Department of Safety, both of which are service-related amenities, as opposed to revenue-generating amenities such as the Golf Course or Restaurant and Bar. Part of the services we provide include the disposal of trash from receptacles placed at many of the well-traveled locations throughout Pine Mountain Lake. For example, Safety provides a dumpster for Campground guest's garbage, the disposal of which is included in their site fee. Unfortunately the Department of Safety has encountered much illegal dumping at just the Campground. To my chagrin, we also discovered that many of the "illegal dumpers" were not just ne'er-do-wells but instead were fellow property owners. When a member, or non-member even, uses a trash receptacle for the continuous disposal of their household garbage the Association must absorb the cost. In essence, more trash equals higher disposal fees for the Association which can result in a higher assessment for the members. We even

encounter from time to time, neighbors using other neighbors' trash cans for their household garbage, in which case the exploited member has to foot the bill. Neither of the above scenarios are acceptable and we work hard, to not only prevent these occurrences, but to also follow up on all such incidents.

Moore Brothers Scavenging Company, our local service provider, offers several different options that would serve members that live both on and off the hill. Members that live here full-time for the most part can opt for a 1-can, or more, curbside service. Members and their guests can also opt to purchase individual garbage bags that are about the size of a standard kitchen trash bag to dispose of their garbage. This is especially convenient if they are not here often enough or do not produce enough trash to warrant permanent residential service. The Main Gate even sells these bags at the Moore Brothers' rate, \$6.75 per bag, and supplies a dumpster for ease of disposal. If you are interested in more information regarding Moore Brothers' service options please contact their office at (209) 962-7224. I would like to encourage any and all members that witness illegal dumping to promptly report it the Department of Safety at (209) 962-8615. Maybe all these culprits need, is a little trash talking to.

GOT YOUR PIN?

Since PML is a private gated community, we want to offer our property owners a secure way to call in guests. When you become a member of PML you are assigned a Personal Identification Number (PIN) to utilize either when calling in a guest pass or using the Gate Access Internet program. This PIN identifies you to staff without you having to be present. This is a confidential number and should **not be shared**. When you call the Main Gate to authorize a guest or vendor access into PML, you will be asked for your PIN. The staff will look up the number in the computer and use it to confirm your identity before entering the guest information. You must have this number to utilize the Gate Access Internet program as well. If you do not know your PIN or have any questions, please contact the Administration Office at:



(209) 962-8600



Monday through Friday from 8 am to 4:30 pm.
and we will gladly supply this information to you.

Shades of Green

BY ALAN MACDONALD, GOLF COURSE SUPERINTENDENT

Irrigation plans for 2015

With very little rain this winter and summer fast approaching we must now be thinking about the best way to utilize the water that we do have available to us for irrigating the course. The priorities are greens and green surrounds, tees, and fairways. Unless we receive sufficient rainfall this spring our goal for the summer of 2015 is to keep the course fun and playable, while having very little impact on the lake. Additional methods to keep the soil and root zone wet will be utilized. We will plan for additional applications of wetting agents and soil surfactants. Watering schedules could change with times of deep watering to get the clay soils wet. More hand watering or spot watering of hard to wet areas will occur. These are uncharted times in regards to water consumption and we ask for your help in keeping the course healthy. Be aware of your cart driving habits. Please stay on the paths as much as possible. The cart traffic compacts the soil especially when the soils are wet and that restricts water and nutrient up take of the roots.

Restrooms Project

The restroom building repair project near the 13th tee has been completed. This project took longer than anticipated due to the rot and decay that was hiding behind the walls being much more extensive than originally hoped

for. This building is 45 years old and with the repairs that were made should last another 50 years. Thank you for your patience and understanding during this remodel project. Both of our maintenance crews participated in this project led by Robbie and Eddie. Thank all of you guys for a job well done!

Next up is to complete the repairs to the restroom on #4. This building is 21 years old and needs fewer repairs. The roof has been done and next is some siding and replacing both doors and door jams, along with a fresh paint job.

Aeration Projects

Greens aeration is planned for April 20th and 21st. Prior to doing the greens we will do collars, tees, and fairways. We are planning additional spot solid tine aerations during the season to improve water infiltration.

New Tee Signs & Tee markers

We are in the process of putting out the new tee signs. All of the new tee markers are already on the course. Mike will be discussing the process of selling the old tee signs in his article. These new signs are a nice improvement from the wooden signs.

April Fools

With all of his hard work, Uncle Milt now has a single digit handicap!

Community Standards

BY DENNIS PIPAL, COMMUNITY STANDARDS, DIRECTOR

FREQUENTLY ASKED QUESTIONS ABOUT THE BARK BEETLE

Why weren't we warned about this bark beetle?

Bark beetles are not something new to PMLA. They have been part the forest ecology for many years. Tree experts did not forecast this increased activity of the bark beetle. As they say, hindsight is always 20/20 and now the experts are telling us that a combination of the RIM fire and the drought has caused this increase. Forecasting what "mother nature" has planned is a dubious assignment at best.

Bark beetles are primarily affecting our Ponderosa pines. We have published numerous articles about the bark beetle in recent years which have been sent to our members to help educate them on what to look for, how to help prevent a beetle attack, and cultural methods to improve the health of trees which deters the beetle.

What can we do to protect our trees?

The drought has been a huge factor so watering your trees can be an option. Experts recommend soaker hoses or drip lines around the outside umbrella of the tree, not around the trunk. Needless to say, we are in a water conservation mode so good judgment is required.

There are two options which may protect your trees and are usually provided by your local pest control company. First, an injection process which may ward off the attacking pest. Second, a spray process which coats the exterior of the tree and kills the pest when they land on the tree. We did a phone survey last fall and below are the pest control companies who said they have some service available:

- Anchor Pest Control 800.284.6968
- Angels Pest Control 209.586.2275
- Clark Pest Control 209.532.3464
- Foothill Sierra Pest Control 800.464.3772
- Rod Diehl Pest Control 209.532.3260
- Safeguard Pest Control 209.586.2275

From the Fringe

BY MIKE COOK

On March 8 we had our last winter 11:00 shotgun of the season, as of March 9 our first tee time is 9:00 am. Starting April 6 the first tee time will move to 8:30 am. The driving range hours will change as the days get longer, check with the Golf Shop for current hours. Property Owners can make tee time reservations up to 14 days in advance by calling the Golf Shop 962-8620.

Upcoming Events

Men's 9 Hole Group – Wednesdays is their weekly play day.

Ladies 9 Hole Group – Thursdays is their weekly play day.

Ladies 18 Hole Group – Thursdays is their weekly play day.

Men's Club – Wednesday April 15; 4 Man Team 2 Best Balls + Orange Ball.

Men's Club – Saturday May 2; Razzle-Dazzle 2 Man Team (Best Ball, Scotch & Scramble)

Southern Valley Seniors – Friday May 8.

Men's & Ladies Clubs – Sunday May 17; Spring Mixed Partners; 4 Person Scramble.

Ladies 9 Hole Invitational – Thursday May 28.

Ladies 18 Hole Invitational – Pine Tree Invitational; Friday & Saturday June 19 & 20.

Men's Invitational – Mother Lode Invitational; Friday & Saturday June 26 & 27.

Men's & Ladies Locker Room Remodel

The locker room and restroom remodel project started on February 23 and by the time you read this we should be laying tile. We anticipate the completing the project by around May 1 if all goes as planned.

Lockers for Sale

The metal lockers that were removed from the locker rooms are being sold as

is for \$30.00 per 12 in wide unit. There are approximately 64 full locker units; 12 inches wide by 60 inches tall and 80 half locker units; 12 inches wide by 72 inches tall (with the half lockers, there are 2 lockers per unit, each 12 inches wide by 36 inches tall). The lockers are attached together in groups of 2, 3, 4 & 5. So for example the lockers in a group of 3 would be sold for \$90.00. We will begin selling the lockers on April 1st, if you are interested in purchasing a locker, please call the Golf Shop at 962-8620.

Own a Piece of History

One of the projects planned and completed on the golf course this year was replacing the wood tee signs on each hole. We received many requests from individuals who wanted to purchase a tee sign. In order to give everyone a fair chance to purchase a sign, we will be selling the signs beginning on April 1st through a silent auction format. Bidding will end on April 15th with the highest bid winning the right to purchase the sign for the amount of their bid. Minimum bid price will start at \$90.00 per sign. There will be a binder in the golf shop with a bid sheet for each sign. Come on in and place a bid on a sign and maybe you can own a piece of PML history.

Mini Rules Quiz

Part A: How many options do you have when your ball ends up coming to rest in a Lateral Water Hazard? (Rule 26)

- a) 2
- b) 3
- c) 4
- d) 5
- e) 6

Part B: There is one option that is not listed in this section of the rule but is an option "when available". What is this option?

Aren't existing dead trees a hazard to my healthy trees?

It depends. Arborists tell us that it takes 3-6 months for a tree to start showing signs of a bark beetle attack (they start to turn brown at the top and progressively get worse). By then the host beetles have long departed for another tree. However, these hosts lay larvae under the bark which eventually hatch into new beetles. There are typically 2-3 life cycles per year. So within the 3-6 month period the host beetles have likely moved on as well as the offspring. Only removing the bark and inspecting for beetles/larvae can tell you for sure. By the time a tree is completely dead

(brown) all the moisture has left the tree and beetles require moisture to survive, so any residue of beetles will likely cease to exist once the tree is completely dead.

The beetle is most active in the summer (hot) months so if you plan on considering any of the preventative measures to protect your trees, we suggest you consult your tree/pest professional soon.

This has been a frustrating time for all of us. We have lost many trees in our greenbelts as well, however, only about 15% of the Lots have been affected by this increase in activity of the bark beetle.

Gears & Grooves Triathlon Coming June 6, 2015



DATE: 6-6-15
 COST: 50.00 per person, 60.00 day of event.
 Teams of 3 – 130.00, or 140.00 day of event.
 Cost covers event, concert, and t-shirt.
 WEBSITE: Grovelandgearsandgrooves.com

Registration day starts at 6:00 AM at Mary Laveroni Park, and triathlon starts at 8:30AM.

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 Bidding starts Wednesday, April 1st
 and closes on Wednesday, April 15th at 6pm
 The bidding starts at \$90.00 per sign
 The signs for Holes #1 and #18 are not available for purchase

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PINE MOUNTAIN LAKE FLEA MARKET



TIME TO CLEAN OUT THE GARAGE AND DECLUTTER YOUR HOME

at the PML STABLES at 13309 Clifton Way
SATURDAY MAY 9, 2015
7 AM – 2 PM

- Spaces are first come, first served on the day of the event
- Please bring your own tables, tarps, blankets, etc.
- Space set-up starts at 7 am
- Space fee is \$7 per space. Pay in advance at PML Admin Office or at the Stables the day of the event

Includes Tioga High School Fundraiser (Hot Dogs, Hamburgers, Donuts, Etc.)



Hosted by the Pine Mountain Lake Association

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SATURDAY MAY 2, 2015

1PM-3PM

\$19 PER PERSON / PLUS TAX



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962-8638

April at The Grill

BY JAY REIS, THE GRILL MANAGER



Well, I'm still hoping for April showers. Although I have been enjoying the nice weather this winter, we really need some help from Mother Nature to fill our lake. The lake is such a wonderful amenity that brings people to Pine Mountain Lake during the summer that I think The Grill business may be impacted a little if we don't get more rain to fill the lake.

By the time you read this article Easter may have passed but we had a wonderful crowd and Chef Carrie put out a wonderful buffet. Thank you to all that were able to attend. Remember Mother's Day Champagne Brunch is May 10. Make sure to call for reservations early as our brunches always sell out fast

Wine tasting this month will be hosted by one of our distributors, J Woods Beverage Group. They represent a lot of

nice wineries and they will be bringing a selection from several of those wineries like; Regio, Heavyweight, Brownstone, Blackridge, Old Vine Estate, Three Muscateers just to name a few. So, join us on April 16 from 5pm to 7pm for our Wine Tasting Dinner.

The 19th Hole Lounge – Here is our live music schedule for April. We have live music every Saturday night from 8pm until midnight. The lounge is open 7 days a week from 10 am.

Friday April 3 – Karaoke
Saturday April 4 – Rockslide
Saturday April 11 – ESP Band
Saturday April 18 – StoneKold
Saturday April 25- 3rd Star West

Your questions and suggestions are always welcome, contact me at clubmgr@pinemountainlake.com.

Understanding Horsemen

BY JEANNA SANTALUCIA EQUESTRIAN CENTER MANAGER

Before we get into the crazy busy summer months, I thought I'd give you a little insight into the minds of horsemen and the reasons we do, what we do. I am often reminded by our horse owners' actions, words and sometimes "quirkiness" when speaking with visitors to the stable. We love to share information about our horses; their personalities, our preference of breeds or why we choose mares (females) or geldings (neutered males), with ANYONE who shows an interest in listening. We are ALL opinionated (stated tongue-in-cheek) regarding training methods and feed, but one thing is always foremost in all horse owners' minds - SAFETY. I'm not just speaking of the highest concern of liability to humans (California, is one of only 4 states in the US that does not have liability legislation), but also the safety of our horses' health. Within our stable of current (16) horses we board, there are four (4) that are over 30 years old, five (5) that have specific health and diet issues, and all sixteen (16) are like our "kids". Similar to dog, cat (or any) pet owners, when our animals are sick or injured, they can't tell us what is the cause, or even sometimes the symptoms, but we are looking at 1100 lbs. or more to evaluate. At the time of this writing, I am waiting to see if my personal 32 year old horse that I've owned since he was 3 months old, is going to survive a fractured jaw and multiple bruises, punctures from a fall



into a dry, rocky creek bed, that somehow my 6'2" (former firefighter) friend was able to rescue.

Our "kids" have given us love, taught us patience, and displayed great tolerance. They are also very expensive. So as we move into the spring and summer vacations, we welcome you to our "home away from home" and PMLA's beautiful facility; invite you to share in our world of equine community, but hope you will understand that when we ask you not to pet or feed the horses, it's not to take away from a child's enjoyment, or be snobbish; it's just that a small bit of carrot can choke an older horse, a sweet apple can cause a diabetic reaction, or that a horse cannot see directly in front of his face and may mistake a finger for a carrot.

The Equestrian Center has several non-horse events as well as the new additions to camps, so please come out and introduce yourselves, and ENJOY!!

Please visit our website for upcoming events, dates and times at www.pinemountainlake.com

GOT RESERVATIONS?

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Amended Resolution #06.01

Adopting Election Procedures

The following proposed Board resolution is an amendment to Resolution #06.01-Adopting Election Procedures. The purpose of the amendment is to reflect the January 1, 2014 changes in the California's Davis-Stirling Common Interest Development Act (specifically civil Code sections regarding the rules pertaining to the conduct of elections of directors and other election rules). The effect of the amendment impacts candidates for director elections. The main effect and change in this draft is updating the Civil Code sections numbering throughout the document, and the procedures for candidate campaign mailings. This draft was discussed at the March 21, 2015 monthly Board meeting. This published draft will also be discussed at the April 18, 2015 monthly Board meeting at the PML Lake Lodge. The meeting starts at 9 a.m. and all PMLA members are welcome to attend.

3.23.15 dd



Resolution #06.01
Adopted: May 20, 2006
Amended: May 19, 2007
Amended: April 20, 2013
Amended: XX/XX/XXXX

RESOLUTION ADOPTING ELECTION PROCEDURES

WHEREAS, California Civil Code section ~~1363.03~~ **5105** now regulates the conduct of elections of the board of directors of common interest owner associations and mandates the use of a secret ballot voting process, as described in accompanying election procedures; and

WHEREAS, California Civil Code section ~~1363.03~~ **5105's** election procedures control to the extent that the election procedures in any other Pine Mountain Lake Association governing documents or rules are in conflict with those statutory procedures; and

WHEREAS, Civil Code Section ~~1363.03~~ **5105(5)** requires the use of either one or three inspectors of election to receive and tabulate ballots and to perform other functions related to the election that are enumerated in the Election Procedures that are attached hereto as Exhibit "A"; and

WHEREAS, the Board of Directors has determined that it is extremely important for elections of the Pine Mountain Lake Association to be free of any question regarding the fairness and impartiality of the election; and

WHEREAS, the Association's Bylaws authorize the conduct of director elections through the use of a mailed ballot voting process as described in California Civil **Corporations** Code section 7513, which process can be modified to accommodate the secret ballot voting process mandated by Civil Code section ~~1363.03~~ **5115**;

NOW THEREFORE BE IT RESOLVED, that this Association establish and implement the election and secret ballot voting procedures that are attached to this Resolution as Exhibit "A" and incorporated herein by this reference; and

FURTHER RESOLVED, that the President and the General Manager of the Association be, and they hereby are authorized, empowered and directed to take such further actions as they deem necessary and appropriate to implement the purposes and effect of these resolutions and to further have the authority to modify these procedures solely to conform to any subsequently enacted emergency legislation that directly affects the content or protocols of the attached election procedures as such procedures will apply to the Pine Mountain Lake election of directors.

DATED: ~~April 20, 2013~~ **XX/XX/XXXX**

PINE MOUNTAIN LAKE ASSOCIATION

By _____
Jerry Dickson *Wayne Augsburger*, Board Secretary

EXHIBIT "A" PINE MOUNTAIN LAKE ELECTION PROCEDURES

Effective ~~July 1, 2006~~ **January 1, 2014**, amendments to California's Davis-Stirling Common Interest Development Act (specifically Civil Code section ~~1363.03~~ **5105**) require that common interest development property owner associations, such as the Pine Mountain Lake Association ("PMLA"), adopt rules regarding the conduct of elections of directors (as well as other specified votes conducted by an owners' association). Those election rules must comply with a number of specific requirements that are set forth in the new statute.

The procedures that follow were drafted to reflect those new statutory requirements and it is these procedures that will be used by the Pine Mountain Lake Association in the election of directors unless certain provisions of these procedures must be modified or amended to reflect subsequently enacted State legislation:

1. Equal Access to PMLA Media. In accordance with PMLA Board Resolution ~~01-07~~ **06.01**, as amended and updated, the following guidelines remain in effect regarding the use of PMLA Media:

(a) Campaign Signs. Campaign signs must comply with current Association rules and State law. *California Civil Code section 4710 allows for the posting/display of non-commercial signs, posters, flags, or banners on or in an owner's separate interest. Posting or display of any signage in the Common Area or Common Facilities is prohibited. Signs, posters, flags, or banners may be made of paper, cardboard, cloth, plastic, or fabric but may not be made of lights, roofing, siding, paving materials, flora, or balloons, or any other similar building, landscaping, or decorative component, or include the painting of architectural surfaces. Signs may be displayed from the yard, window, door, balcony, or outside wall of the separate interest but may not be attached to trees or fences. Signs and posters may not be more than nine (9) square feet in size. Flags or banners may not be more than fifteen (15) square feet in size. Campaign Signs for the election of Directors shall be removed within 5 days after the election. There is a limit of three (3) signs, posters, flags, or banners (or combination thereof) allowed for display per Lot.*

(b) PMLA Advertising. The Association offers each candidate one-half page for a campaign statement in the June, July, and August issues of the *PML News* (text to be supplied by the candidate and printed in each issue) in addition to a 450-word resume. Candidates may utilize the advertisement in any manner they choose, i.e., written statements, charts, pictures, letters of endorsement, etc., in accordance with *PML News* Editorial Policy. The cost of the space in the *PML News* is \$200.00 per qualified candidate, to be paid at the time the petition of candidacy is filed with the Association. By state law, the Association may not edit or redact any content from these communications, but may include a statement specifying that the candidate or member, rather than the Association, is responsible for the content of the statement.

Candidates and other members advocating a point of view may also purchase a maximum of an additional one-half page of *PML News* space per edition (June, July, and August editions) at regular advertising prices.

(c) Provision of Mailing Labels. Candidates are entitled to purchase labels for mailing at a cost of \$100.00 to be paid at the time the labels are ordered. Mailing Agreement. *Candidates who want to mail "Campaign Information" to members can deliver their letters to the Association in sealed envelopes with postage already applied. The Association will then apply mailing labels for all members in good standing to the envelopes and place them in the US mail. The cost of this service is \$100 to be paid at the time the labels are ordered. The Member and author(s) of the information mailed are completely and solely responsible for the contents of the information and will be required to defend and indemnify PMLA and its directors and employees from claims arising out of the distribution of the information.*

The information shall be mailed within five (5) business days of its receipt or receipt of the required fee. In any event, PMLA shall not be required to distribute the information for at least twenty-four (24) hours after receipt absent a health or safety emergency.

PMLA will not "censor" or edit the contents of the Information. It urges all members to communicate in a respectful and productive manner and without personal attacks on any individual or group.

(d) Other PMLA Media Access. It is not the policy of PMLA to provide other means of candidate access to Association media, newsletters, or internet websites during a campaign. In the event that the statements or actions of an incumbent director who is also a candidate for re-election to the Board, are reported in any PMLA media solely in the context of that director's performance of his or her duties, those reports or statements shall not constitute provision by PMLA of access to its media for campaign purposes. Should this PMLA policy change in the future, the new Civil Code election rules provide that equal access to any permitted media shall be provided to all nominees and members advocating a point of view (whether or not endorsed by the Board of Directors). An association cannot edit or redact any content from any candidate communications, but the Association can include a statement specifying that the nominee or member authoring the communication, and not the Association, is responsible for the content of the communication. In accordance with Civil Code section ~~1363.04~~ **5135**, no Association funds shall be used for campaign purposes, except to the extent necessary for the Association to comply with the duties imposed upon it by law.

2. Equal Access to Association Meeting Areas for Nominees and for Members Advocating a Particular Point of View. The Association shall provide equal access to the Common Area meeting facilities at Pine Mountain Lake during a campaign, at no cost, to all candidates, including those who are not incumbents, and to all members advocating a point of view, including those not endorsed by the Board, for purposes reasonably related to the election. This requirement, which is imposed by statute, shall not be interpreted as obligating the Association to provide access to such meeting spaces at times when the space is normally and customarily utilized for other Association or community purposes. In other words, the Association retains its authority and responsibility to ensure that the Common Facilities are managed, operated, and accessed for the common benefit and enjoyment of all PMLA members.

3. Minimum Qualifications for Candidacy. In accordance with the Association Bylaws, in order to be eligible to be a candidate for election to the Board of Directors, the candidate must be a Member of the Association who is in good standing (meaning that the proposed candidate is not delinquent in the payment of Association assessment obligations and is not otherwise subject to a suspension of membership privileges as the result of disciplinary action initiated by the Association).

4. Nominations for Election to the Board of Directors; Self-Nomination. In addition to the nomination procedures specified in Section 7.04 of the Association Bylaws, by State law, the Association must now permit any member to "self-nominate" himself or herself for election to the Board of Directors. Any Member desiring to nominate himself or herself as a candidate for election to the Board must: (i) satisfy the good standing requirements for candidacy applicable to other candidates at the time the person's candidacy is proposed and thereafter; (ii) present written notice to the Board of Directors of the person's desire to self-nominate on or before the deadline of the nominating committee for the presentation of its list of candidates to the Board of Directors. Section 7.04 requires that candidates for election must submit a petition signed by at least two percent (2%) of the members in order to demonstrate support for the candidacy. In the event that a person self-nominates himself or herself without presenting a petition signed by at least two percent (2%) of the members, that candidate's name may appear on the ballot under a heading, which states: "Self-Nominated Candidates with No Supporting Petition". Candidate's names shall be listed on the ballot alphabetically by last name.

5. Voting Eligibility. Each Member of the Association in good standing is entitled to cast one vote for each lot that the Member owns. In order to be eligible to vote the Member must be in good standing, with all assessment obligations current and the Member cannot be subject to any other suspension of voting rights privileges as a result of disciplinary action duly imposed by the Association. Because membership-voting rights are appurtenant to the ownership of particular Lots, if a Member is delinquent in the payment of assessments as to any particular Lot owned, that Member can be denied voting rights as to the Lot where the assessment obligations are delinquent.

6. Proxy Voting. The secret ballot voting requirements of Civil Code section ~~1363.03~~ **5105** do not prohibit the use of proxy voting. However it is the policy and practice of the Association to conduct its elections by use of written ballot voting in accordance with Civil **Corporations** Code section 7513 and that form of balloting contemplates that each Member will receive a ballot by mail or personal deliver and shall therefore have the right to cast the ballot personally. In corporate law, proxy voting contemplates a situation in which an agent of an absent member (i.e., the proxy holder) presents evidence of authority to act on behalf of the absent member (in the form of a written proxy) at the meeting that the issuer of the proxy was unable to attend. In the context of PMLA elections, the annual membership meeting is the forum for the announcement of the results of the election conducted by use of mailed (written ballot) voting, but the election does not actually take place at the meeting. For that reason, the Civil Code rules relating to proxy voting in the election of directors do not apply to the election of directors pursuant to the written ballot election process utilized by PMLA.

7. Duration of the Voting Process. The secret ballot voting procedures of Civil Code section ~~1363.03(e)~~ **5115 (a)** specify that ballots for the election of the Board of Directors must be sent to all eligible Members not less than thirty (30) days prior to the deadline that is established for the tender of ballots. In the election of the Board of Directors, written ballots must be received by the Inspector of Election, no later than the 4:30 P.M. the day before the scheduled Annual Meeting of the Members and Directors Election. Due to the requirement that the Association utilize a double envelope ballot system in the election of directors, any ballots that are sent to the Inspector of Elections by facsimile transmission or email cannot be counted.

8. Use of Secret Ballots and Ballot Completion Requirements. In accordance with Civil Code section ~~1363.03~~ **5115**, ballots used in the election of directors shall be secret ballots, which shall not identify the voter by name, address or lot number. The secret ballots, together with two pre-addressed envelopes with instructions on how to return ballots shall be mailed by first-class mail or delivered by the Association to every Member of the Association not less than thirty (30) days prior to the deadline for voting. The unsigned ballot shall be inserted into an envelope (the "Ballot Envelope") that is sealed and this sealed Ballot Envelope shall then be inserted into a second envelope (the "Address Envelope") that is sealed. In the upper left hand corner of the Address Envelope, a space or lines shall be presented where the voter can print and sign his or her name, address, and Lot number. The Address Envelope shall be addressed to the inspector or inspectors of election who shall tally the votes. The Address Envelope (containing the ballot and the Ballot Envelope) may be mailed or delivered by hand to the location specified by the inspector of election for the return of ballots and the Member may request a receipt for delivery of the ballot.

9. Determination of Election Results/Succession to Office. The candidates receiving the highest number of votes, up to the number of vacancies to be filled in the election, shall be elected as directors, and shall take office immediately following their election. In the event there is a tie vote between those candidates who receive the lowest number of votes necessary to qualify the candidate for election, the tie shall be broken by random drawing.

10. Supervision of Election Process; Appointment of Inspector(s) of Election. In order to insure secrecy of ballots and fairness in the conduct of director elections, the Board of Directors shall select an independent third party or parties to serve as the inspector(s) of election. Civil Code section ~~1363.03(e)~~ **5110(a)** specifies that the number of inspectors of election shall be one or three. The duly appointed inspector of elections shall have the full powers of an inspector of elections appointed by the Board pursuant to Corporations Code section 7614 and shall perform his duties impartially, in good faith, to the best of his ability, and as expeditiously as is practical. Any report made by the inspector of election is prima facie evidence of the facts stated in the report. The sealed ballots at all times shall be in the custody of the inspector of election or at a location designated by the inspector or inspectors until after the tabulation of the vote, at which time custody of the ballots shall be transferred to the Association.

Without limiting the foregoing, the inspector election shall do all of the following:

- (i) Determine the number of memberships entitled to vote and the voting power of each.
- (ii) Determine the authenticity, validity, and effect of proxies, if any.
- (iii) Receive ballots. Sealed ballots shall at all times be in the custody of the inspector or inspectors of election or at a location designated by the inspector or inspectors until after the tabulation of the vote, at which time custody of the ballots shall be transferred to the Association.
- (iv) Hear and determine all challenges and questions in any way arising out of or in connection with the right to vote.
- (v) Count and tabulate all votes.
- (vi) Determine when the polls close.
- (vii) Determine the result of the election.
- (viii) Perform any acts as may be proper to the conduct of the election with fairness to all Members and in accordance with the Association Rules pertaining to the conduct of elections and section ~~1363.03~~ **5110(e)(8)** of the Civil Code.

11. Requirements for the Counting and Tabulation of Ballots. The designated inspector of election must count and tabulate the votes in public at a properly noticed open meeting of the Board of Directors or the Members. Any candidate or other Member of the Association may witness the counting and tabulation of the votes. No person, including a Member of the Association or an employee of the Association's management company, if any, shall open or otherwise review any ballot prior to the time and place at which the ballots are counted and tabulated. In the event that tabulation of the ballots cannot be concluded prior to the designated time for adjournment of the annual membership meeting, the meeting shall be continued for such time as is required to complete the tabulation of ballots and Members shall be entitled to remain in attendance at the continued meeting to observe the tabulation.

12. Announcement of the Results of the Election. The results of the election shall be promptly reported to the Board of Directors of the Association and shall be recorded in the minutes of the next meeting of the Board and shall be available for review by Members of the Association. Within fifteen (15) days of the election, the Board shall publicize the results of the election in a communication directed to all Members.

13. Retention of Ballots. After tabulation, election ballots shall be stored by the Association in a secure place for no less than one year after the date of the election. In the event of a recount or other challenge to the election process, the Association shall, upon written request, make the ballots available for inspection and review by Association Members or their authorized representatives. Any recount shall be conducted in a manner that shall preserve the confidentiality of the vote.

PML Organized Groups & Clubs

Contact the individuals below if you are interested in joining!
(All numbers are 209 area code unless noted otherwise)

Aviation Association	
Lynne Orloff	962-4631
Computer Users Group	
Frank Perry	962-0728
Exercise	
Barbara Elliott	962-6457
Friends of the Lake	
Mike Gustafson	962-6336
Garden Club	
Lonnie Roman	962-6001
Guardians of PML	
Gus Allegri	962-6915
Ladies Club	
Maddie Sousa	962-5708
Ladies Golf Club	
Yvonne Mattocks	962-4165
Men's Golf Club	
Dick Faux	962-4617
Men's 9-Hole Golf Club	
Bob Oakley	962-4799
Monday Bridge Club	
Bill Parker	962-5957
Needle Crafts	
Lee Isbell	962-5727
Pickleball	
Karen Seals	962-6657
Pine Needlers Quilt Guild	
Wina Helm	962-6534
PMLakers RV Club	
Miles (Ned) Nuddleman	925-371-2287
PML Niners	
Stacie Brown	962-5129
PML Shooting Club	
Dick Collier	770-5022
PML Waterski & Wakeboard	
Dean Floyd	(408) 378-7725
Racquet Club	
Joe Sousa	962-5708
Tom Hernandez	962-4704
Residents Club	
Dick Faux	962-4617
ROOFBB	
Ivonne Deckard	962-1904
Sierra Professional Artists	
Heinie Hartwig	(209) 586-1637
Southern Valley Srs. Golf Group	
Jim Sample	962-4747
Sunday Couples Golf	
Alma Frawley	962-5578
Windjammers Sailing Club	
Bob Haliwell	962-4137

PML Men's Golf Club

BY WAYNE DOTY

At the club, our long awaited and much needed remodel of the locker rooms and restrooms has begun. Obviously we are having to endure a few inconveniences along with the dust and noise but I think we can all agree, the end result will be worth it all.

The February sweeps golf tournament was held on Wednesday February 18th. We had a great turnout and a good time was had by all. Congratulations to the winners. As you can see in the following results listing, and I guess it shouldn't be a big surprise, Mike Cook, our club professional, was on the winning team in the gold flight. For those who were not there it should be mentioned that Mike split his share of the winnings among the members of the 4th place teams in each flight.

Where is our winter? This may sound strange coming from a golfer but let's all keep our fingers crossed for a lot more rain and snow. At this point, I would be glad to be using my rain gear on a regular basis for the next three months and beyond.

FEBRUARY SWEEPS RESULTS: Gold

- 1 Mike Cook, Dennis Scott, Jerry Dickson, Doug Wall 113 \$50 each.
- 2 W. Augsburg, Glen Fiance, Brian Sweeney, Rich Graham 119 \$40. ea
- 3 Dave Gibson, Wayne Doty, Chris Ligonis, Jeff Sera 121 \$32.50 ea
- 4 Ralph Jimenez, Jeff Mondloch, Steve Vahey, Dennis Perry Jr 121 \$25. ea
- 5 Frank Jablonski, Charlie Shehorn, Dennis Perry Sr, Dan Shuey 123 \$6.25 ea

Purple/Green

- 1 John Case, Bill Johnson, Mort Moore, Randy Henderson 116 \$50. ea
- 2 Bob Stock, John Petkewich, Dave Penning, Milt Foster 116 \$40. ea
- 3 Dick Faux, Norm Peebles, Dan O'Connor, Larry Hunt 117 \$25. ea
- 4 Joe Vautier, Bob Haiges, Bill Walker, Leroy Gregory 117 \$6.25 ea
- 5 Bob Ells, Steve Margossian, Richard Kennedy, Michael Guess 117

Closest to Hole

- 3 Dennis Scott \$25
- 7 Michael Guess \$25
- 14 Brian Sweeney \$25
- 17 Dennis Perry Sr \$25

Golf Quote of the Month:

They say golf is like life but don't believe them. Golf is more complicated than that. – Gardner Dickinson

Pickleball

BY KAREN SEALS



Hello PML Pickleball, It's another great day and I hope you are all ready to challenge yourselves! How many of you have wanted to change something in your lifestyle but haven't taken that first step? The challenge for this month is short and simple: challenge yourself

to make 1 small change a week for the month! This could range anywhere from eating veggies for dinner every night to adding a healthy snack in the middle of the day so you don't over-eat during dinner. Going out and playing Pickleball once a week, introducing someone to Pickleball, etc! The change doesn't have to be extravagant, but the first step is to ACCEPT the challenge so that you can make the change! Remember Pickle-Ball can be a game enjoyed by family

and friends. Players develop hand-eye coordination and a level of fitness while playing. Pickle-Ball is a game everyone should try at least once.! As always, Pickleball Rocks!

The PML Pickleball Club is continuing to grow. In April Pickleball will back to our Daylight savings time hours. We are now playing Pickle ball 7 days a week on courts 5 & 6.

Mon., Wed., Fri. 9-11 Member play, Tue., Thurs. 5-7 PM open play. Come on out and learn the game Sat- Sun 9-11 member play, 11-1. Come on out and learn the game. Please remember to bring your annual or daily pass to play.

And everyone is invited to come out to a Pickleball spring Pot Luck Friday April 24 from 5-7.

Garden Club Clippings

BY JOYCE SMITH

As I told you in my last article I would give you the names of our speakers from the Audubon Society. They were John Turner and Barry Bolton. They delivered a very interesting program complete with pictures and bird sounds. We really enjoyed their program.

Our speaker for March was Kim Turney, a representative of doTerra Products. We learned about the herb plants and how their oils are beneficial to our general well being. We thank Kim for bring this informative program to us. We are learning new things all the time.

We had a workday at the Jail on March 11th. Thanks to all workers who turned out. We have a lot to do to have the Jail ready for the Tour. Plus, our garden is a place for everyone to relax in and enjoy the serenity of a garden. When you have guests this spring and summer, bring them down to show them this lovely spot in our town.

Now some needed information for our June 8th Garden Tour and Luncheon. Tickets are \$20.00 for members and \$25.00 for guests. Call Barbara 962-5168 for reservations. We will have a limited number of tickets, so don't wait too long to get your reservations in. Or mail your name, guest's name and money to P.O. Box 167, Groveland. This is always a sell out and our only fund raiser. The proceeds are for plants, etc. and maintaining our Historic Jail.

Remember to watch each month for your Garden Club Newsletter/email. It is filled with information. Upcoming in April, our own Linda Glenn will be our program presenter and she has something great to share with us. Looking ahead into May, Linda Neuschwander, CCNPro, Master Gardner, Residential Landscape Consultation and Design, will talk about the drought we are now experiencing.

See you at the Lake Lodge.

Quilters' Corner

BY SANDY SMITH

Countdown 'til THE STROLL, April - May- and then June 13th. Hooray. I know everyone is busy getting prepared, finishing projects and deciding what they are going to make for the Boutique/Bake Sale. It is exciting to be this close to the actual Stroll. Remember to SAVE the Date Saturday June 13, bring your friends and come on to town and see all our hard work. Will be fun and hopefully not as hot as the record breaking temperatures in 2013.

Thought it would be fun to see a web site from another country, check out <http://www.liberty-bell.co.uk/>. I enjoyed the colors and the fact that

they were introducing fabric from America, Moda, xxxxx. Measurements being in meters made it interesting too.

The April meeting of the Pine Needlers will be on Tuesday the 21st, 6 p.m. under the library. The meetings are always fun, lots of sharing and learning too. Then on the 23rd, we will have the Block Party, where we make little quilts for CNVC. Our community outreach program includes quilts for CNVC and Dress A Girl dresses for this international group. If you are interested in small projects to do at home give me a call at 962-4950.

PML Lady Niners

BY SHARON KENYON

ACE OF ACES FOR FEBRUARY was Pat VanGerpen with Net 31 -- Birdie #3. "LOVE-ly" golf weather prevailed for our February games.

February 5 "Putts Day" with 18 players

1st Place: Mary Houser 15 Putts
2nd Place: Pat Price 18 Putts
3rd Place Tie: Marilyn Alexander, Jane Reynolds, Wanda Patterson 19 Putts each
4th Place Tie: Kathy Egan, Marilyn Hathaway, Bev Oakley 20 Putts each
Pars: #7 Stacie Brown & Pat VanGerpen
Shot of the Day Birdie: #6 Kathy Egan with 1 putt. Excellent play!
Low Net: Pat VanGerpen with 32.

February 12 "Red-White-Blue" with 16 golfers.

1st Place Team: Marilyn Alexander, Carrie Carter, Marilyn Hathaway, Nancy Whitefield, Score = 67
2nd Place Team: Marilyn Bolar, Flo Jansen, June Moore, Wanda Patterson, Score = 68
Low Net: Wanda Patterson = 36

February 19 "Odd Holes" (minus ½ HC) with 14 players.

1st Place: Pat VanGerpen Net 14
2nd Place: Faye Buckley Net 15
3rd Place: Anne Toner Net 17
4th Place Tie: Linelle Marshall, Wanda P. Net 18
5th Place: Jane Reynolds Net 18.5
Pars: #3 Wanda Patterson
Birdies #3 Pat VanGerpen
Low Net: Pat VanGerpen Net 31

February 26 Only 4 clubs from the green tees. 21 players competed for Low Net Win.

1st Place: Nancy Whitefield Net 30
2nd Place: Sarah Zimmerman Net 31
3rd Place: Wanda Patterson Net 34
4th Place: Carrie Carter Net 35
5th Place Tie: F. Buckley, L. Marshall Net 36
6th Place Tie: Price, Toner, VanGerpen Net 37
Pars: #10 C. Carrie, W. Patterson, J. Reynolds, N. Whitefield. #11 Linda Craig. #14 Mary Houser, Linelle Marshall, Sarah Zimmerman. #17 Anne Toner & Jane Reynolds

PML Men's 9 Hole Golf Club

BY STEVE ENGSTROM

The rain we had in early March, about .6 inch at our house, has really helped the golf course and I hope we get more in the rest of the month and in April so that we can have "May Flowers". By the time you read this, we will have been on Daylight Savings Time for a while and that means we have gone back to regular "T" times. The Men's 9 Hole Club will start our "T" times at noon until Fall rolls around.

The answer to last month's teaser, which was "Only two golfers have won tournaments on the PGA Tour in four different decades, name them", is Sam Snead ('30s, '40s, '50s, & '60s) and Raymond Floyd ('60s, '70s, '80s, & '90s). This month's teaser is "Who was the first golfer from Great Britain to win the Masters?" Our winners for February were:

2/4 4 Man Two Best Ball

First: Lonnie Parmalee, Jerry Patrick, Dave Lint and a Blind Draw, **Tie Second:** Steve Engstrom, Jack Leetham, Bob Oakley, Steve Aker and Jim Van Gerpen, Walt Bales, Dick Dentino and Malcolm Brown

2/11 2 Man Scramble

First: Walt Bales and Malcolm Brown,

Second: Lonnie Parmalee and Steve Aker, **Tie Third:** Steve Vahey / Jerry Patrick and John Cress / Dick Dentino

2/18 T to Green

Tie First: John Cress, **Tie Second:** Jim Van Gerpen, John Klink, **Fourth:** John Olsen, **Tie Fifth:** Steve Ojeda, Jack Leetham and Steve Engstrom

2/25 Low Net Plus Putts

First: Steve Engstrom, **Second:** Jim Van Gerpen, **Third:** Larry Fuller, **Fourth:** Walt Bales, **Fifth:** Jeff Mondlock

If you are new or returning to golf and don't want to play 18 holes, you are invited to join the Men's Nine Hole Golf Club.

- Play every Wednesday.
- A variety of games & formats.
- We will maintain your nine-hole handicap.
- Walk or ride, it is still "a walk in the park."
- Annual Championship Tournament
- Membership is \$25 per year and applications are available at <http://pmlm9h.webs.com> PML Men's 9 Hole Golf Club

PML Ladies Golf Club Events

BY SARA HANCOCK

We had another month of beautiful weather for golf. We were able play all of our play days. I am sure we are all praying for a very wet March.

Invitations for our Pine Tree Invitational were passed out at our General Meeting on March 3rd. The theme this year is "Golf Like An Egyptian." Marcee Cress and her committee have been working hard to make this another great invitational.

We would like to welcome our new member Sally Wrye. She is not here full time but hope she will be able to join us occasionally.

February 5th Team Bingo

1st Place...48 Bingos...Kitty Edgerton, Helena McMillan, Sue Perry and Kathy Shehorn
2nd Place...45 Bingos...Eleanor Ellis-Murphy, Sara Hancock, Yvonne Mattocks and Anne Peterson.

February 12th 2 Best Balls and 1 Best Putt

1st Place...153...Eleanor Ellis-Murphy, Thelma Faux, Patty Peebles and Sue Perry
2nd Place...157...Kitty Edgerton, Clarice Ligonis, Helena McMillan and Priscilla Park.

February 19th Red, White and Blue

1st Place...132...Helena McMillan, Priscilla Park, Marjorie Rich and Kathy Shehorn
2nd Place...133...Jodie Awai, Kitty Edgerton, Eleanor Ellis-Murphy, Paula Vautier
3rd Place...139...Kay Bettencourt, Sara Hancock, Yvonne Mattocks and Mona Tompkins.
Birdies: Jodie Awai #17, Kitty Edgerton #16, Marjorie Rich #10.

February 26th U' Pick "Em

1st Place...58...Eleanor Ellis-Murphy, Thelma Faux, Sue Perry and Kathy Shehorn
2nd Place...59...Marcee Cress, Corky Graham, Clarice Ligonis and Blind Draw
3rd Place...61...Jodie Awai, Kitty Edgerton, Helena McMillan and Paula Vautier.
Birdies: Eleanor Ellis-Murphy #9, Thelma Faux #7, Sue Perry #10 and Marcee Cress #10.

Coming up in April, we have the Nine Hole Ladies invite the Eighteen Hole Ladies. Our first major tournament is coming up in May. We hope you all will be considering playing in the Handicap Championship Tournament. A little reminder from your Tournament Chair of that old saying "drive for show, putt for dough."

PML Shooting Club & Range News

BY CAROL SIMPSON

We continue to have great weather for shooting, even as we keep hoping for more rain. Our PML Shooting Range amenity is unique in that it is the only amenity that is operated free of expense to the Association. The range is operated by Shooting Club Range Safety Officers (RSOs) who are certified by the NRA at their own expense and who volunteer their services at no expense to PML. This free staffing of the range contributes over \$25,000 per year in labor costs to PMLA. In return, members of the Shooting Club receive a discount on daily and annual range fees compared to the fees paid by PML residents who are not club members. Shooting Club members also volunteer their time for work parties for range maintenance and have donated over \$60,000 in acoustics expertise to measure sound levels at the range and, most recently, to determine the acoustic design requirements for a sound fence to further reduce the already very low sound levels from the range as heard within the PML community. To date (2012-2015), the Shooting Club has contributed more than \$160,000 of labor and expertise to this amenity.

In the February issue of the PML News we listed the 2015 schedule for CCW courses at our range. These are all taught by Bill Tidwell, Certified Firearms Instructor and CCW Instructor for Tuolumne and Mariposa Counties. Contact him directly for information and to register for a class: Call Bill Tidwell at (209) 878-

3056 or e-mail him at bill@train2besafe.com.

We invite all PML Residents to check out the range. Access is via the Compost Area. You must purchase either a day pass for \$10 or an annual pass for \$120 from PMLA in order to shoot. Visitors must pick up a visitor pass (free) from Main Gate before going to the range. Our range is the envy of shooters from other locales, set far away from the road and residences, in the woods with covered shooting benches, safe shooting lanes 25, 50, and 100 yards, and our Club range safety officers (RSOs) to ensure safe operations.

All PML property owners may use the range. See the PMLA website link <http://www.pinemountainlake.com/Shooting-Range-430522-21389.htm> for range rules, fees, and operations times. Shooting Club members get a discount on day and annual range fees paid to PMLA. Annual Club dues are \$20 for a family membership. See the Club website www.pmlsc.com for information on joining the Shooting Club, serving as an RSO, and to download the California Handgun Safety Certificate Study Guide and other useful documents. With over 200 members so far, we hope to see more PML Residents join. The Club staffs the range with trained range safety officers (RSOs). Whether you are an experienced shooter, want to get back into shooting, or are just learning, we welcome you and offer camaraderie and a safe place to shoot.

PML Action Hero: Alan Buchner

BY JANET GREGORY

The things that we do define who we are. Alan Buchner prides himself in preserving the past. Alan transforms twisted rusted relics into historical treasures. He loves every aspect of aviation from flying to maintaining and holds just about every license, endorsement and certificate available for piston-driven aircraft.

Aviation was born into this San Joaquin Valley native. Alan's dad was flight instructor, mechanic and operations for Civilian Pilot Training Program. Alan spent most of his time at the airport helping, working and listening to tall tales. His dad joined the Army Air Corps during WWII in aviation investigation, so the family moved around a lot, settling back in Bakersfield after the war.

A cranky old guy sold Alan a "great" airplane at age 16, a 1936 Rearwin Sportster. After only a year of flying, Alan had to rebuild it. Although he didn't know it, this was his first restoration launching a lifelong passion and distinguished career.

Smart move by the Army when Alan was sent to helicopter mechanics school. Finishing first in his class, he was then sent to aircraft engine school. In the infinite wisdom of the military Alan never worked on helicopters or airplanes but at least he got to hang out at airports!

Alan was happy to return to civilian life after serving his country. He worked for a Beechcraft dealer doing a little of everything: shop mechanic, air-charter, flight instruction, aircraft pickup and delivery. Later flying as a corporate pilot for a gambling rancher meant 15 years of becoming very familiar with routes between Fresno, Long Beach, Reno and Las Vegas.

When not flying, Alan started doing aircraft maintenance, building a reputation for his attention to detail. His second restoration of the 1936 Rearwin Sportster won Grand Champion at Watsonville and drew great attention to Alan's quality craftsmanship. Time to open his own shop.

Bring Alan anything with a propeller and he knows what to do with it. He doesn't work on avionics, "you can't see electricity". Alan received the coveted Master Mechanic Award, serving more than 66-years in aviation maintenance with 59 years as FAA-certified A&P Mechanic. He holds almost



Alan Buchner

every license and certification for flying, training and maintaining fixed-wing, piston-powered aircraft. Alan dazzled air show crowds with 17-years of aerobatics in his 1942 Ryan PT-22.

His shop in Fresno is called "the museum"; it receives visitors from around the globe to view his impressive collection of aircraft and aviation memorabilia. Aircraft maintenance pays the bills but Alan's passion is aircraft restoration, "taking a piece of junk and making it look like new". His greatest joy is having people appreciate his work.

Alan has restored a wide variety of aircraft from a Russian-designed, Chinese-built Yak-18 with only two flying in the world to a Culver-V with only five still flying. Alan's restorations have been featured in print and on television, several are on display in museums, including a 1932 Kinner Sportster in Germany and a Ryan PT-22 in England.

Found trashed in a barn, Alan's favorite restoration is a Waco-QDC. Two-years into the project he received the aircraft ownership history. There were 17 previous owners and Alan's dad was the fifth registered owner! WOW! The restoration took on new significance with this discovery. After 15-years of work and a mere 4-hours of flight time, Alan flew to Oshkosh for the Waco's first show, winning Reserve Grand Champion. Returning the next year, after working all winter, his Waco-QDC was awarded Grand Champion. Alan's Waco-QDC is one of only two still flying.

Restoration requires skill, patience, art, history and meticulous attention to detail. Several cars and trucks have received Alan's magic touch, each one with a personal history, but Alan prefers airplanes. He is restoring a 1936 Porterfield, previously owned by his father. Each rib has 250

'Erin Go Bragh'

BY MARY BROWN, PUBLICITY CO-CHAIR

Pine Mountain Ladies Club celebrated March with a delightful 'Irish Fling', an Irish baked potato bar with all the fixings, and of course a green salad, topped off with the best cookies, and that ain't no Blarney! We were entertained with some Irish songs by Sally Salinas and Regina Tilley. Luci Tyndall gave a presentation explaining and updating the "It Takes A Village" program.

Our next event will be Wed. April 1st,

no foolin', 'A Fling into Spring' a Fashion Show from Sonora's Sharon Malone Lingerie, arranged by committee chair Connie Buchner.

If you would like to have lunch with a bunch of fun ladies once a month, you can become a member, just mail a check for your yearly dues of \$15. to PML Ladies Club, P O Box 100, Groveland, CA 95321

We love to see new faces, come join us!

PML Women Making a Mark

BY JANET GREGORY

Moving to Pine Mountain Lake and becoming part of the flying community here has been remarkable. I met so many men and women that were pilots, learning from their experience and stories. Until yesterday I didn't realize just how amazing PML aviation really is.

The monthly issue of EAA's Sport Aviation arrived in the mail. The EAA, Experimental Aircraft Association, is a national organization founded to promote the spirit of aviation. On the cover was PML's Vicky Benzing standing beside her beautiful Lancair Legacy "Lucky Girl" above the headline "No Speed Limit: The women who race at Reno."

I couldn't wait to open the pages and dive into the article. To my amazement featured on the opening spread for the article was "Poncho", PML's Jim Thomas' Lancair Legacy flown at the Reno National Championship Air Races by Colleen Keller. The article featured five women that race at Reno and two of them fly regularly from our Pine Mountain Lake Airport! WOW!

It was shocking to learn that only 6% of all the licensed pilots are women. I received my pilot's license at PML and have met so many women pilots here that I would have expected that number to be far greater. The



PML resident Vicky Benzing graces the cover of Sport Aviation magazine

women (and men) of Pine Mountain Lake will impress, inspire and mentor you, if you have ever had interest in aviation to learn to fly, build or maintain aircraft.

Congratulations to Vicky Benzing and Colleen Keller for inspiring aviators around the globe with their expertise.

brass nails carefully tapped into place providing form, function and strength. Each wing contains 15 ribs, 30 total, with 7,500 perfectly placed tiny brass nails and five-years of work.

Introduced on a blind date, something clicked between this quiet hard-working man and that cute sassy little blue-eyed blond named Connie. Alan proposed, "Well, what about it? Are we going to get married or not?" Connie accepted this romantic proposal and after 52 years they think the blind date may have worked out.

Alan and Connie have lived in Pine Mountain Lake for 15 years. They were introduced by flying friends and built a home/hanger combination. Connie moved immediately to escape the Fresno fog. Alan and Connie love the people and sense of community at PML, "everyone is friendly".

Come to PML Airport Day October 3rd, Alan will dazzle you with his stories, flying and restorations. Alan Buchner is a PML Action Hero, keeping aviation history alive.

Is your story next? Janet.gregory@sbcglobal.net or 962-5061.

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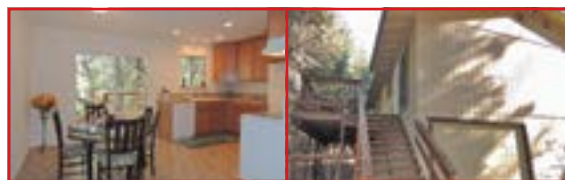
12900 GREEN VALLEY CIR U3 L410 2206 sf (1342sf main plus bonus rooms 864 sf) .28 acres 4bd/3ba 4-5 sleeping rooms can be used as bedroom & family room or game rooms. Enjoy this Newly Remodeled home, offers a perfect combination of indoor/outdoor lifestyle w/sliding doors to ample deck space. This adorable home is in PML near Yosemite. Features stainless appliances, granite counters, glass kitchen cabinets, lg pantry, 3 remodeled baths, new light fixtures and doors, new back deck & lg front deck new metal railing, painted inside & out, lots of outdoor lighting, new metal staircase bannister, wood&tile floors, newer bright windows, recessed lighting, spacious lot front and back. <http://www.tourfactory.com/1312806>

FABLULOUS! 3207 SF+1372 SF BONUS AREAS \$598,000



11950 MTN SPRINGS CT. U13/L226 .80 ac, Cul-de-sac. 4Bd/4Ba. Mtn & tree views. Lg lvng rm w/tile & wd flr. inlaid, stone hrth fp. cstm wd mntl, frml entry w/elev. to 3 flrs. Lg kit. SS appls - Jenn Air 6 burnr gas stove+wrmr, dbl ovens, grmt cntrs, pntry. Exer. rm, indoor pool rm w/ "Endless Pool®". 4 car gar w/dbl depth. Timbertech® deck. 690 sf wrkshp. Mbr flr to clg stone gas fp, deck & hot tub, dbl shwrs, tile flr, dbl clsts. Wd flrs, hi-clngs, stdg lgt. Views from "cupola" with elev. access. <http://www.tourfactory.com/1218839>

MOVE IN READY - OUTSIDE OF PML \$162,500



18548 NORTH DOME CT. GROVELAND 1147sf 3Bd/2Ba, 1 car. .42ac, septic. New paint inside/out, kitch new w/granite cntrs, maple color cabnts, new sink, faucet & disp, new elec stove, new recsd light, new flrng, new LvRm chng fan. New lighting & doors, carpet, roof, deck rail front at front cement patio, ctrl heat, sinks, shower/tub, wtr htr. Lg deck off kitch. Cement drive to 1 car garage. Natural landscape, just a minute drive from downtown. Ready to move right in! <http://www.tourfactory.com/1248346>

BEAUTIFUL HOME IN GREAT LOCATION! \$234,000



19452 PLEASANT VIEW DR. U1 L115 2062sf 3Bd/2ba 1 car, septic, deep circular paved driveway w/private garden & beautiful private landscaped yard close to golf & Dunn Ct Beach. LvRm, Fam Rm, Sun Rm, granite kitch cntrs, tile flrs & carpet. Wood burning f.p. stone hearth, vaulted clng, indoor laundry, central Heat/AC. Remodeled MBath, Lg shop/storage area off garage. Lg front terrace deck/patio. 5yr old 30/yr roof, cell phone svc & Hspeed internet Avail. <http://www.tourfactory.com/1248342>

BEACH~LAKE~FIREWORKS~FABULOUS !!! \$475,000



19881 DUNN CT. U1/L269 .52ac. 60 sec. to Dunn Ct beach. Cul-de-sac w/lake views from kit., LvRm & Yr rnd cvrd frnt deck. 1 lvl, tall open bm wd clngs, 3 Mstr Bds (1 remod. Ba) 2 gar, open kitch/grt rm, ss appls, walk-in pntry, 2 mrgd lots, front row seats to fireworks! Cntrl H/AC, stone gas fp & custom wd mntl, brkfst bar, wet bar. High wndws view lg atrium Oak, new LvRm carpet, beveled glass entry dr, wood style lam. floor in hallway & Mbrd 1. RV +pkg. By lake and g.c. in PML near Yosemite. <http://www.tourfactory.com/1154708>

BEAUTIFUL HOME W/LARGE GREAT ROOM \$259,000



19601 Cottonwood St, U6 L31 2168 sf 3bd/2ba 2 car. Single lvl living w/a huge great rm w/hard wd flr & open bm clngs, gas fp. The mstr bd & ba is roomy, gas fp, bamboo style flr, 2 closets, dual sinks, sep garden tub & shwr, picturesque views. 2 guest bed, formal dining rm or bonus rm w/tile floor, wine cellar or hobby rm on ground lvl. Backyard private patio, Central Heat/AC, finished gar w/built in cabnts & 10x8 Tuff Shed included. New wtr htr & dishwasher, on septic. <http://www.tourfactory.com/1062451>

BEAUTIFUL VIEW AND LARGE LOT \$192,000



19781 COTTONWOOD ST. U6 L81 1838 sf 3Bd/2½ ba, 2 car on septic w/LvRm & Fam Rm, beautiful natural landscape lot backs up to trees & creek in PML. Long flat driveway away from street, serene surroundings. Main Lvl living, grt rm w/open kitch, brkfst bar & garden window. Wood burning free standing f.p. Tile entry, sep laundry rm w/lg pantry stor. Lrg Mbrd walk-in closet and French door to back deck. <http://www.tourfactory.com/1248347>

LAKE AND MAJESTIC MOUNTAIN VIEWS \$445,000



20596 QUAIL RIDGE LN. U3/L148 3586sf Stone ext. w/5Bd (4+ add'l slpng) 3.5Ba, 2 car (fits 21' boat), Lg decks & lake views - fireworks front row seating. .27ac, priv. setting. Open Lv Rm w/wd burn f.p. & blt-in ent. ctr, Lg MB on sep. lvl w/lg deck & views, jetted tub, sep shwr, dbl sinks, lg walk-ins, cath. clngs, lg kit. w/brkfst bar, gas stove, walk-in pantry, sep dining w/views, 2 h₂o heaters, lg dwnstrs fam/game rm w/wet bar & huge deck. Lg under house space. <http://www.tourfactory.com/1270271>

PRIVACY & 6 SLEEPING RMS! \$449,000



20063 Pine Mtn Dr. U13 L263 .86 acres, 3036sf main flr 1 story lvl living + upper & lwr lvls for guests w/6 slpng rms in all! Main lvl Mstr, 2 bd upper, 1 bd + 2 rms (w/o clsts) on lwr lvl making 6 potential bdrms. 3½ ba, Lvrm w/flr to clng brick wd burn f.p., open to kit., dining area. Entry & guest Ba on main lvl, upper lvl loft w/wet bar & tall wdws. Fam/game rm w/wd burn stove, deck on lwr lvl., 2 car lg tall gar w/wk bnch, cbnts & sink. Dual HVAC, whole house vac, storage. Furnishings avail/negotiable. <http://www.tourfactory.com/1281210>

NEXT TO GOLF COURSE \$125,000



12699 JUNIPERO SERRA #3 Approx 1516 sf w/2 Mstr Bdr + additional Full Bath. Spacious Townhome w/Golf and Tennis, Swimming pool and Country Club steps away from your front door in beautiful PML, near Yosemite. Enjoy the lake & PML amenities full-time, part-time or have as investment rental just a short drive from busy Bay Area. Lg open kitch/sep dining, lg living rm w/stove wood burn f.p., 2 MBdr + full guest bath, 3 decks, Central H/AC, Tri Level. <http://www.tourfactory.com/1248349>

18919 FERRETTI RD., SUITE A. • IN THE MARVAL MARKET PARKING LOT

YOSEMITE AREA REAL ESTATE

Paul S. Bunt Real Estate – BRE #01221266



MOVE IN READY – GREAT HOME

full time/Vacation/rental. Close to Marina. 3bd 2ba 1797 Sf. Screened porch, open beam clngs, Gas fp in Bonus rm. Wd burning insert in LR. Stainless Appls Master ste w/view Lake access **\$299,990** 13/381 - 19834 Pine Mt Dr



BEAUTIFUL HOME W/LAKE VIEWS

Relax in the porch swing, listen to fountain & look out onto the lake at sunset. Great rm has massive stone wall that encases a wood stove that is easily kept stoked w/wood brought up via wood waiter. 20457 Rock Canyon Way



INCREDIBLE CUSTOM LAKEFRONT

3,018Sq.Ft. 5bd/3 full ba. Mtn design/decor. Room for family & plenty of parking. Designer landscaping leads down to lake. New dock & deep water. Fantastic Lake views. **\$750,000** 4/108 - 20616 Longridge Ct



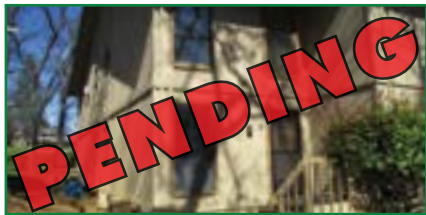
CUTE/COZY MTN CHALET CABIN

Very close to PML Amenities. 1,280sq.ft. Huge Loft w/half bath. 2bd & full bath on main lvl. Updated. Stainless Appls, laminate flooring, Tankless water htr & vinyl windows. **\$160,000** 2/2 - 20270 Pleasant View Drive



HIGH QUALITY ONE LEVEL HOME

Lg cvrd deck. Grt rm w/gas stove, lg kit., Brkfst bar, lots of cabs. Sep. Dining w/French drs. Mstr w/lg Mstr Ba w/dbl sinks, sep. soak tub & shwr. Vaulted clngs all rms. Indoor Indry rm Finished 2-car det. gar. **\$259,000** 13177 Mohramann



BEST VALUED CONDO ON GOLF COURSE

2bed/2 bath. Move in ready. Private patio with view of 5th green. Only **\$75,000** 19170 Dyer Ct #3



CLOSE TO AMENITIES

Close to Dunn Ct beach & golf course 3bed/2 bath 1500'+ 2 car gar. Most furn included Lake view from deck. **\$205,000** 19740 pleasant View



NEARLY 24 VIEW ACRES

City water, power to top of lot, septic in for 3 bedrm's. Driveway graveled half way up lot Gated, close to Groveland **\$200,000**



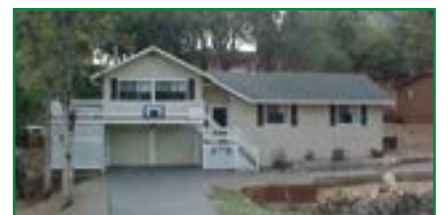
PML LOT CLOSE TO COUNTRY CLUB

Septic in for 3 bedrm's Owner can build. Great location **\$39,900**



TWO FOR ONE HOME

Upper 2bed/2 bath custom kit. Decks front and rear. Lower 2bed/2 bath kitchette, bonus rm, patio, 2 car gar RV parking **\$399,000** 12401 Tannahill



BEAUTIFUL INSIDE & OUT

Well maintained 3 bed 2bath. Cozy woodburner for winter nights Central heat/air 2 car garage w/workshop. Deck for outdoor entertaining. Laminate and carpeting. **\$255,000** 12800 Cresthaven



EASY BUILD, GENTLE SLOPE

.5+ acre Treed Lot. Septic lot with site survey done in 1995 on file. **\$12,500** 8/267 - Hillhurst Circle



IT'S A BEAUTY

2bed/2 bath with loft newer flooring 2 car attached garage. No work here! **\$169,900** 19416 Cottonwood



ADORABLE ONE LEVEL ON .42 AC

Forest views, 2 car gar., RV/boat prkng. Lots of storage under home. Move-in ready, w/ wood burning fp, lg kitch w/lots of storage. Ctrl prop. heat, tile flrs entry & kitch, Priced to sell! **\$199,000** 12874 Green Valley Circle

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CHRIS H. LAKE
BROKER ASSOCIATE
209.768.6156 Cell
chrishlake@gmail.com
BRE #00946632



JAMES (JIM) NAGLE
REALTOR
209.770.5230 Cell
jamesa.nagle@gmail.com
BRE #01251085



KRYSTAL BIGGER
REALTOR/GRI
209.768-5944 Cell
kbigger81@gmail.com
BRE #01324944

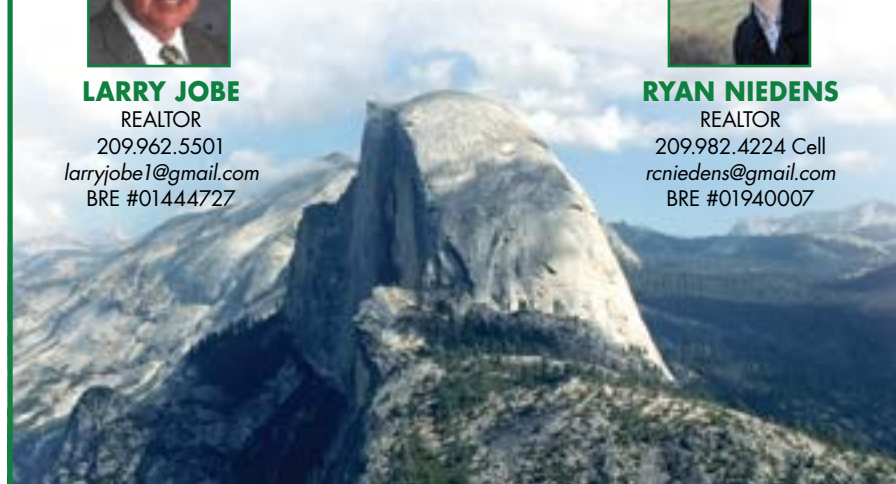


LARRY JOBE
REALTOR
209.962.5501
larryjobe1@gmail.com
BRE #01444727



RYAN NIEDENS
REALTOR
209.982.4224 Cell
rcniedens@gmail.com
BRE #01940007

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**YOSEMITE GATEWAY
PROPERTIES**

209.962.5190



UNIT 3, LOT 32

**A QUALITY HOME FOR
ALL SEASONS AND ALL
REASONS AT \$429K**

Every month will seem like a vacation in this 2007 custom, 2500 sf + 600 sf bonus, 3BR, 2Ba, bonus room, bamboo & travertine flooring, quartz counter tops, walk-in closets and so much more on .95 of an acre.

Don't miss out.

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Tish Fulton
985-0216



Tracy Billeb
RENTALS
962-7180



New Listing

LITTLE BEAUTY COMING SOON Classy 1693 sq ft home on a level corner lot with 3 bedrooms and 2 baths. This home has all the bells and whistles with vaulted ceilings, recessed lighting, two tone paint, black powder coated deck rails, a corner gas fireplace with wood mantle, curved wood window sills, decorative archways, ledges and cutouts, Corian® & granite tiled counter tops and much more. Detached single car garage.

2-102 Gamble St Call for price!



New Listing

WALK TO PML COUNTRY CLUB Championship golf and fine dining are an easy walking distance from this single level home on a level lot. This quality manufactured home features an open 1289 sq ft floor plan with vaulted ceilings, a propane fireplace, a well appointed kitchen with a breakfast bar, a breakfast nook plus formal dining with a slider to the rear deck. Two bedrooms, 2 baths, and a den that can double as a 3rd sleeping area. Other attractions are the low maintenance landscaping, walkways around the grounds, a two car garage and plenty of parking for your guests.

5-204 Mueller Dr \$154,900

WHAT'S NEW? ON NONPAREIL

New Listing



the roof and deck are **NEW!** So are the stainless appliances and exterior paint AND the windows, too. Near the Big Creek walking trail on .4 acre is this 3 bedroom, 2.5 bathroom with attached double garage all on one convenient level with no stairs. Stately pines and forest views refresh your outlook.



Extra storage, 1549 sq ft, all furniture & appliances included.

4-142 \$235,000

**LUXURY INSIDE
RUSTIC CEDAR OUTSIDE**
4 bdrm, 3.5 bath, 3 car garage
2-story great room +loft
2 master suites, incredible kitchen & granite entertaining bar, 3630 sq ft built in 2005
1000 sq ft of redwood deck
Fully furnished, quiet street
5E-12 \$575,000



**Golf Frontage
And Forest
Views**

See 4-Page
Flyer at
PineMtnLake.com/
Realtors/
Lauree

REDUCED \$37K+ FOR A QUICK SALE



NEW PRICE

Amazing remodeled tri-level home with the most intriguing nooks, crannies and spaces for all of your toys, hobbies and loved ones. This 2828 sq ft floor plan has 4 bedrooms, 2 dens, a workout room/ hobby room (not included in sq ft), a spacious living room and family room, and a huge eat-in kitchen with room to seat 12 guests. The kitchen also opens to a spacious rear deck for outdoor entertaining and enjoyment of your own private park framed by tall picturesque trees.

4-287 \$329,900

NEWER LAKE COVE HOME-TOYS INCLUDED



Boats, kayaks, and most furnishings come with this 3 bdrm, 3 bath, 2352 sq ft home built in 2004. Half acre lot features a

beautiful park-like setting with drought resistant trees, stamped concrete walk-ways & stairs down to your own private boat dock. Rake style windows from the rear of the living room overlook beautiful lake cove views. Enjoy views toward Fisherman's Cove from the comfort of covered awnings on the east facing deck. Entertaining is grand when you have spacious outdoor decks, a huge living room and a large bonus room that can double as an additional sleeping area. Detached 2 car garage.

3-172 Rock Canyon \$795,000

Save the Date!

May 30, 2015

2015 ROOFBB Annual Golf Tournament
11:00 a.m. Registration
1:00 p.m. Shot Gun

Door Prizes – Raffles – Auction

Tournament Chairs – Lisa Brown-Jimenez 962-0894

Janey Marshall 527-7806

Kathy Mondloch 962-0221

JOANNE BERNASCONI-SCOTT
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COUNTRY CLUB VILLA # 21

Very close to Grill, Pro Shop, Tennis and Pool. Perfect for the vacation get-a-way and Vacation rental. 1,900 sq. ft w/4 bedrooms 4 baths. Separate/Private Suite downstairs. Golf Course and Mountain views. Has Vacation Rental History.
\$157,000 CCV # 21 12735 Junipero Sera



PERFECT STARTER OR VAC HOME

Very nice, cute & cozy. Nice decks. Free standing wood burning fireplace & fenced area for pets. 1,404 Sq Ft of upgrades. 3bd/2ba & attached 2 car garage.
\$255,000 3/354 12800 Cresthaven Drive



LOVELY OPEN FLOOR PLAN MOUNTAIN HOME

1,408Sq.Ft. 3b/2.5ba Knotty Pine Bm Ceilings. New paint, Wash/Dry, DW & remodeled Mstr Ba. Open Grt Rm. FP & Bay window. Cvrd decks. Septic **\$165,000** 2/362 19358 James Cir.



SELLER READY TO SELL!

COUNTRY RANCHETTE ON LVL 1.49 AC

Everything ready/setup for toys, RV's & Horses. Fenced/cross fenced. 2 paved drives each end of home - easy access to 4 horse paddock w/auto water system, lights, electricity, covered hay storage & 2 lg stor. sheds. Spacious 1,741SqFt. 4bed/2ba of room for family & friends. 2 car attached garage & extra storage/pantry rm add to home. Renovation throughout entire home. Kitchen renovation w/kitchen sink, granite counters, hickory cabinets, (dual fuel) gas/ electric oven/range & microwave. Free standing propane f.p. Covered Patio. Water well for Irrigation Nice fenced back yard for pets. New Roof & Exterior Painting
\$319,000 12/164 - 13334 Clements Road



CUTE/COZY MTN CHALET CABIN

Very close to PML Amenities. 1,280SqFt. Huge Loft w/Half ba. 2 bdrms & full bath on main lvl. Updated. Stainless appls, lam. flrng, tankless water htr & vinyl windows.
\$160,000 2/2 - 20270 Pleasant View Dr.



3BD/2BA SINGLE LEVEL CUSTOM

Single-level, built in 2005, with 2-car garage, attached by breeze-way. Great room has vaulted, knotty-pine ceiling. Granite counters, laminate flooring. Jetted tub, separate shower & double vanity in main bathroom. Guest rooms access decks. **\$275,000** 7/228 - 19092 Digger Pine



INCREDIBLE CUSTOM LAKEFRONT

3,018Sq.Ft. 5bd/3 full ba. Mtn design/decor. Room for family & plenty of parking. Designer landscaping leads down to lake. New dock & deep water. Fantastic Lake views.
\$750,000 4/108 - 20616 Longridge Ct

LOTS & LAND

Large Merged Lot .87 Acres Very close to Tioga High School. Easement off Ferretti Rd for easy access **\$9,600** 7-281 Ferretti Rd.
Easy Build G.C. Lot 13th fairway. Close to Dunn Ct. Beach. Seller financing available. **\$99K** 5/100A 12716 Mt Jefferson St.

.7035 Acre Gentle Down slope Parcel Very Close to the PML Lake Lodge/Beach. **\$49,000** - Parcel 378 Big Foot Circle
Unit 7 Lot 281 .37n Ac Flat Buildable Lot \$18,000 Parcel 281 Jackson Mill Circle

Parcel .526Ac. Ready for Builder. Great Location. Outside gates and close to High School. Engineered Septic Solution done in 2005. **\$38,000** Parcel 290 19378 Ferretti Road.

HOMES FOR SALE

LOVELY OPEN FLOOR PLAN MOUNTAIN HOME 1,408Sq.Ft. 3b/2.5ba Knotty Pine Bm Ceilings. New paint, Wash/Dry, DW & remodeled Mstr Ba. Open Grt Rm. FP & Bay window. Cvrd decks. Septic **\$165,000** 2/362 19358 James Cir.

Pine Mountain Lake Realty *An Agent Owned Company*

4/15



Bruce 'Red' Rossio
Broker/Owner
BRE#01429140



Barry Scales
Owner/Broker Assoc.
BRE#00451887



Lynn Bonander, GRI
Owner/REALTOR®
BRE#00683485



Val Bruce
Owner/Broker Assoc.
BRE#00578336



Parker 'PJ' Johnson
Owner/REALTOR®
BRE#01732298



Gina Hernandez
Owner-REALTOR®
BRE#01226555



Marc Fossum
Owner/REALTOR®
BRE#01956242



**Location - Location
Near Main Marina!**

19762 Butler Way
8-218
\$189,000
MLS# 20142038

3Bd/3Bth, Approx 1,600 SqFt. includes Approx 500 Sf Bonus Rm. Inside Laundry, 600 SqFt Deck, Paved Circular Driveway, Lots of Parking, Cabin Look on Main Level and 2 Yr old Modern Addition Down Stairs. Exquisitely Maintained Inside & Out. Most Furniture Included.



**Gorgeous
Country Estate**

13245 Clements Rd 12-128
\$550,000
MLS#30260229

4 Bd, 2&1/2 Bth, 2 Car Oversized Garage, Approx 2581 sf, Approx. 1.30 Acres, Built in 2005, Great Rm, Dream Kitchen, Pantry, Bonus Rm, Hardwood Floors, Master Suite, Walk-in Closet, Spa like Bathrm, Large Laundry Rm, Trex porch, Concrete Level Stamped Driveway, RV Parking, Shed - Tons of Curb Appeal. All Furniture included. *First Class Home! A Must See!*



**Quiet Back
Taxiway
Remodeled
Home**

12-28

3Bed/2 Bath, 2 Car Garage, Central Air, Central Propane Heat, Approx 2,152 SF, Aprox 0.75 Acre, 48'x40' Hangar, Great Room, Kitchen Island, Pantry, Master Suite, Walk-in Closet, Jacuzzi Tub, Separate Shoer, Wet Bar, Den & So Much More!
20934 Woodside Way, \$449,000 MLS#20150265



**12725
Cresthaven**
4-510
\$229,000

3 Bd/3 Bths, Approx 1,968 sf, 0.60 Merged Lot, 2 Car Garage, Brfst Bar, Open Beamed Ceilings, split level, Shop & lots of extra storage area for boat or other toys. Heat pump for heating & Cooling. MLS#20121545



Terrific Views!

12054 Alcan Court
8-173
\$295,000
MLS# 20150106

3 Bed/3Bath, 2 Car Finished Garage, Approx 2134 SF, Approx 0.44 Acre, Central Air/Heat, RV Parking, Great Room, Breakfast Bar, Master Bed/Bath on Entry Level, Inside Laundry, Bonus Room w/Fire Place, Central Vacuum. Most Furniture, Kitchen Items & Bedding Included w/Acceptable Offer.



**Beautiful Home
w/Acreage**

12-104
21214 Jimmersal Ln
\$375,000
MLS#20150031

4 Bd/2 &1/2 Bth, 2 Car Garage Plus 36x36 Shop, Approx. 2198 SqFt on 1.29 Acre. Great Rm w/Heat Stove, Kitchen Island, Pantry, Gourmet Style Range, Master Walk-in Closet, Vanity, Separate Shower, Central Air, Central Propane Heat, Zoned for Horses, RV Elec & Sewage Hook-ups



**For Your Golf
Course Dream
Home!**

12630 Mt Jefferson
5-109
\$49,000

Beautiful Lot w/Views of 11, 12 &13 Fairways. This Super Price may allow you to build a new Home to your liking, rather than buying an existing Home. Ck out cost per SqFt for nicer Golf Course Homes Sold or Listed to confirm this. We can help you do this!



**Single Level Airport
Home**

\$459,000
20950 Elderberry
11-17
MLS#20150225

3 Bd/2 Bth, 3 Car Oversized Garage w/shop, Workbench, RV Parking, Approx 2569 sf, on 0.58 Acre, Great Rm, Spacious Kitchen, Family Rm, Office/Den, Master Suite w/Fire Place, Walk-in Closet, Closeted Toilet & Bidet, Hangar Under Home & Separate Hangar in Back. Lots of Storage.



**Great Little Fly-
In Home**

Near Pine Mountain
Lake Airport
20843 Ferretti Rd
3-490
\$164,000

3 Bdrms/3 Bths, Approx 1744 Sf, Built in 1981, .39 Acre Lot, Built-In Breakfast Bar, Wood Burning Stone Fireplace, Open Dining Rm & Kitchen, Very Large Family/Game Rm or 3rd Bedroom Downstairs. Some Furnishings Included. Peaceful Surroundings!



**Build Your
Dream
Home on
an Airport
Lot!**
\$250,000

Approximately 0.69 Acre Lot is located on Pine Mountain Lake's Airport Runway. Includes a 36x48 Hangar. Enjoy all of the Amenities Pine Mountain Lake has to offer! MLS#20150391

20910 Elderberry Way 11-13



**Office 209-962-7156
Fax 209-962-6710
18919 Ferretti Rd Ste. A
PO Box 738, Groveland, CA 95321
www.pmlr.com**



Nice Setting! Spacious Home

4 Bedroom, 2 Bath, 1 Car Garage, Great Rm, Brkfst Bar, Dining Area, Fireplace, Inside Laundry, Freshly Painted, "As-Is" Short Sale. 18982 Jimmy Bell 7-171
\$119,900 MLS #20141650

LOTS for SALE!!

10/76 - \$2,000 View of Greenbelt
3/489 - \$5,000 Close to Airport & Stables
5E/17 - \$49,000 Golf Course Lot
5/109 - \$49,000 Great Golf Course Lot
6/26 - \$10,000 Greenbelt Lot, Backs up to Big Creek
6/146 - \$12,500 Very Buildable
7/61 - \$10,000 Easy Build, Close to Amenities
7/275 - \$29,900 3 Great Merged Lots
8/137 - \$7,999 Nice Lot & Location
12/45 - \$275,000 Buildable Taxiway
13/257A- \$49,500 3 Merged Lots - Green belt - Beautiful Setting



BRE# 00683485



Pine Mountain Lake Realty

An Agent Owned Company

Lynn Bonander, GRI Owner / REALTOR®

18919 Ferretti Rd., Ste. A, Groveland, CA

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4/2015



*A Home You Will Love
And in "Like New" Condition*

Single Level Home

12899 Greenvalley 3-392

\$243,000

MLS# 20141050



Unbelievably Beautiful Lake Front!

4 Bed/3 1/2 Bath, Great Rm, Family Rm, Den and a Loft, Large Kitchen w/Breakfast Bar & Pantry, Crown Molding, 2 Fire Places, Level Entrance. Extensively Remodeled 3206 sf, has 158 ft of Shoreline with a Lakeside Gazebo. Dock area is a very gentle down slope w/Electric & Water Outlets. A Wine Cellar provides appropriate Cooling Temps. So Much More! See our Web Site @ www.pmlr.com 20914 Big Foot Ct 4-77 \$1,150,000

MLS# 20141134

Co-Listed with Barry Scales

If you want a home that has that "GOOD FEELING", this is a must see? Delightful 3 Bedroom/2 Bath, 1496 sf, Built in 1990. Finished 2-Car Garage. Upgrades include: 2 year old 30 year Comp Roof. New Composite front Stairs and Railings. Back Deck has been resurfaced and new Composite Railings. Recently painted inside and out; New Stain Master Flooring in Bathroom and Kitchen, new Toilets, new Microwave, Stove and Refrigerator have been replaced. Central Propane Heat and Central Air Conditioning for year round enjoyment. Inside Laundry Room with a deep Utility Sink and Built-in Cabinets. His and Her Closets in Master Bedroom and much more! Not far from Fisherman's Cove, Tennis Courts and Private Lake in beautiful Pine Mountain Lake Subdivision, a Gated Community with Golf Course, Pool, Lake, Stables, Air Port and close to Yosemite National Park. This Pristine Home is MOVE IN READY! MOST FURNITURE W/D INCLUDED!



**20659 Longview - 3-267
Sparkling Clean- Like New**

This is a Premium 3 Bed/2 Bath Single Mfg Home. 2 Car Garage, Approx 1389 SF, Central Air, Central Propane Heat, Open Beam Ceiling, Great Room, Master Bath, Inside Laundry. Close to Lake Lodge, Fisherman's Cove & Tennis Courts.

\$179,500 MLS# 20141455

Co-Listed with Barry Scales



Ranch Style Home Room for it All
13360 Clifton Way 12-156 \$449,000

4 Bed/2 1/2 Bth, Approx 2000sf, Approx 1.09 Acres, 2 Car Attached Garage, Cov'd Deck. Great Rm, Kitchen Island & Breakfast Bar, Inside Laundry, Central Propane Heat, Evaporator Cooler, Walk-in Closet & Dual Lav in Master Suite, Plus a 2500sf Shop Fully Equipped for Auto Restoration w/heated Office area & 1/2 bath, Storage Barn. On premises gate allowing direct access to the horse trails. A Must See!!

Listed by Barry Scales MLS# 20141581



**19631 Cottonwood St - 6-38
GREAT VACATION HOME!**

It's a Cutie! Hexagon Style, 3 Bed 2 Bath, and Den. Finished Loft Accessible by Ladder, a Great Kids Hide-away. Upgrades: Windows, Evap AC & Water Heater. FS Fireplace, Cathedral Ceilings, Skylights, Ceiling Fan, Inside Laundry, Open Kitchen, Dining, and Living Room. Refrigerator Included \$142,000

MLS# 20140610



Terrific Views - Wonderful Living!

12054 Alean Ct 8-173 MLS# 20150106
3 Bd/3 Bth, 2 Car Finished Garage, Approx 2134 SF, Approx 0.44 Acre, Central Air/Heat, Great Room w/Fireplace, Breakfast Bar, Master Bd/Bth on Entry Level, Inside Laundry, Bonus Rm w/Fireplace. RV Parking. This home is very well Furnished & most is included with an acceptable offer. The sellers have owned this prop. for the last 15 years and have maintained it well.

\$295,000

Co-Listed with Barry Scales



**Location Location
Location!!**

12597 Cresthaven
4-429

\$194,000

MLS#20131098

Just around the corner from a private Lake & Beautiful Beach Area. Great location for a vacation rental, 2nd home or full time residence. FURNISHED, Charming 2 level cabin style home has 3 Bedrms & 2 Baths. Renovations in 2006 & 2007: New decking & stairs, retaining wall, roof, insulation, driveway, sliding doors & windows. Interior paint, carpet & HVAC! Other features: Vaulted ceilings, tile countertops, wet bar, stone fireplace, large paved parking area for plenty of parking & RV. Drive to the back for level entrance to the front door. Sits back from the road, nicely treed and has a peaceful & serene setting. Gated Community, Call for list on all amenities. Priced to Sell!



**Beautiful
Inside & Out**

12505 Pine Brook
Way
4-460

\$315,000

Approx 1,872 sf

3 Bedrms/3 Bth, Approx 1872 Sf, Plus Bonus Rm on Main Level is Used as 2nd Master Bedroom. Only minutes from the Lake Lodge Beach. This 0.69+ Acre sewered Lot is adorned w/ a variety of trees creating a framework for privacy & serenity. The open floor plan boasts a high cathedral ceiling, stone fire place with a Fisher insert & Built-in Book Case. 1st Master Bedroom is a private suite upstairs with an alcove entry. Many Upgrades!!

LAND FOR SALE!

2.3 Acre Parcel - Reduced! \$75,000
Whites Gulch

4/128 - \$110,000 Lake Front with
Beautiful View!!

5-4 - \$ 8,000 Great Buildable Lot

5-5 - \$ 8,000 Also a Great Build

6-231 - \$12,500 Nice Distant View

6/183 - \$35,000 1/2 Acre+ Easy Build

8/71 - \$15,000 Beautiful Lot -
Good Location

8/137 - \$5,000 Butler Way

12/101 - \$125,000 1.09 Acre Beautiful
Level Lot near Air-
port & Stables



96%

Consumer Satisfaction Rating
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Listing Brochure

18727 Main St. #B • PO Box 792 • Groveland CA 95321
209.962.7765 • fax: 209.962.5924



LOVELY SETTING ON A LEVEL LOT... 3b/2ba, cozy floor plan. Oversize 2 car garage. Great bonus room. Call Linda Willhite, \$190,000 2/345 MLS#20141549



LARGE HOME, SMALL PRICE.... Designed for 2 families/friends desiring seclusion. 4 bdms, 3 baths, 2,506 sf. Open floor plan + family rm. Lrg guest qtrs on 1 side of home, w/separate air/heating/water heater. Must see to appreciate all amenities. Call Dave or Ron, 13/123 S259,900 MLS 20141981.



BEAUTIFUL COURT YARD... with koi pond and patio. Open & sunny floor plan. Large cozy fireplace in living room. Nice kitchen & dining area. 3bd/2b, 2 car oversized stick built garage w/workshop. Call Linda, \$154,950 7/60 MLS#20142125



GREAT HIGHWAY 120 FRONTAGE.... A one of a kind Historical barn over 100 years old and a cistern west of the barn that is visible from hwy. 14 acres, some of which borders BML property. Call Zane McDow 209-768-8889 \$260,000 Hwy 120 Groveland MLS#20121958



OWN A PIECE OF A HISTORICAL QUARTZ MINE... 12.73 acres with easy access and buildable sites. Call Dave Lint or Ron Connick, \$150,000 Wards Ferry Rd Robinson Mine Property. MLS#20142048



BEAUTIFUL 1.7 ACRE LOT.... enjoy the views from this ez access, mild sloping down premium lot. Very private location in desirable Unit 11. Call Michael or Patty, \$159,000 11/56 MLS20121723



CHARMING CORNER LOT... Chalet with 3B/2B and plenty of space for RV & parking. Light, bright & cheery, vaulted ceiling and new paint. Large inviting deck off living room. Most furniture available. Storage under the house. Call Patty or Michael, \$232,000 8/194 MLS#20141816



THIS PROPERTY HAS HISTORIC ...mining ruins of the Mt. Jefferson Quartz Gold Mine. Zoned R-2. Call Michael or Patty, \$99,900. L10 BLK 6 Deer Flat Rd. MLS#20142021



PARK YOURSELF UNDER THE STARS on the deck or in the Hot-Tub. This home is in Pristine Condition. Split 3 Bedroom Plan, 2 Baths, 2 Car Garage and Well Maintained Decks. Close to Main Marina and Big Creek Hiking Trail. Call Dave Lint or Ron Connick \$149,500 19970 Ridgecrest Way MLS#20140068



LAST TAXI WAY LOT.... 12/79 Jimmerrall. Call Linda Willhite \$175,000 MLS#20130834



GREAT HIGHWAY 120 FRONTAGEproperty is located on both sides of Hwy 120 North side is steeper and borders USA property. Call Dave or Ron., \$95,000 Lot 15 Hwy 120 MLS#20105035



A CABIN FOR ALL SEASONS.... High ceilings are a focal point for this 2 bd with a loft A Frame Chalet. Great views of the Mountains can be seen from its front deck, perfect for a weekend getaway. Call Linda \$159,900 3/250 Pine Mountain Dr. MLS#20131008



PREMIER SETTING.... Enjoy those beautiful summer days on the cool covered deck with mountain views. Perfect for entertaining, 3bd, 2ba, 2-car garage, w/plenty of parking. Furniture included. Would make a great vacation rental. Call Ron or Dave, 8/241 S249,000 MLS#20150338



SEVEN CEDARS.... Exactly 1/2 mile to the Marina. Fireplace/stoves in upstairs master bedroom & living room downstairs-plus central heat w/ separate controls up and downstairs. 3bd/2ba + 400 SF bonus room. Call Linda, \$198,500 13/143 Pine Mountain Dr. MLS#20141402



LAKE FRONT.... This lot nice size and has a great building site. Choose to build on flat or over the hill slightly to put on 2 story. Easement rd bottom of lot to access lake easier than from home above. Call Dave or Ron, \$79,900 13/276 MLS#20105148



COZY & CUTE CHALET IN THE TREES.... Beautiful park like setting w/seasonal creek. Lot backs up to PML greenbelt giving you a feeling of seclusion & privacy. Main level has 2bd/1ba w/open beamed ceilings, 2nd level has 2bd/1ba. Newer roof, large deck. Call Patty or Michael, \$165,000 6/121 MLS#20150167



PREMIER SETTING... This lovely 2944 sq. ft. 4bd 3ba home nestled in the trees on approx. 1 acre is the perfect place to relax & enjoy nature. Approx 1,600 sq. ft. of covered deck to entertain friends & family. Call Linda 13/216 S429,000.00 MLS# 20140939



RELAXING RETREAT FOR A LRG. FAMILY... Remodeled 5bd/2.5 ba. + a bunk room. A cozy living room w/ brick fireplace, open beam ceiling & bonus room downstairs. Located on a Lrg. lot w/great setting. Call Linda, \$225,000 3/331 MLS#20103754



BEAUTIFUL HILLTOP.... 20 acre parcel with views north, east and west. Several building sites with great views. Historical sites of Quartz Gold mining operations in the Groveland area. Call Michael or Patty, \$130,000 L8 BLK 6 Deer Flat Rd. MLS#20142007



YOU'LL FIND HIDDEN VALUE IN THIS HOUSE... One of the newer homes built in PML. Double lot, 1 level, easy entrance. 3bd/2ba, oversized laundry, 2-car oversized garage & 2 add'l prkg areas for RV/boat. Numerous skylights & solar tubes. Much more. Call Ron or Dave 2/395 S299,900 MLS#20150255



Emmett Brennan
Broker/Owner



Dave Lint
Realtor, Past
Realtor of the Year



Linda Willhite
Broker/Assoc.



Ron Connick
Realtor



Patty Beggs
Realtor



Michael Beggs
Broker/Assoc.



Zane McDow
Realtor

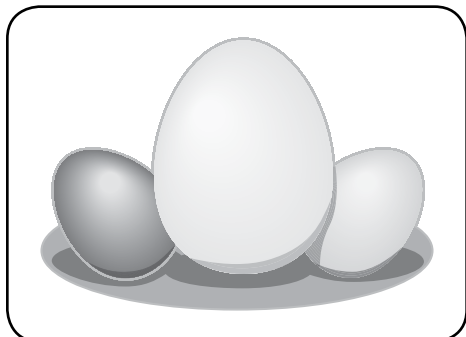


Elaine Stallings
Realtor



Zana Looney
Office Assistant

APRIL EVENTS CALENDAR



**Annual Rotary
Easter Egg Hunt
April 4**



**Easter Sunday
Brunch
April 5**



**Wine Tasting
and Dinner Buffet
April 16**



**100 Years of Broadway
Show and Dinner
April 26**

<p>4-1 WEDNESDAY - GCSO PROPERTY FIRST WEDNESDAY BIRD WALK More than 200 acres of oak, pine and willow habitat with 3 water storage ponds. Meet in the GCSO parking lot at 8AM. Bring binoculars and a birding field guide if you have one. Rain will cancel the trip. The walk will last about two-three hours. If you have any questions, call Jeanne at 962-7598.</p>	<p>4-1 WEDNESDAY - MTN SAGE TCVB P.I.T. STOP 5-6:30pm at Mt. Sage. Be a tourist in your own backyard! A new local outreach program called PIT Stops (Partners in Tourism). Network, meet new people & learn something new about Tuolumne County's tourism industry. Dori's Tea Cottage & the Cellar Door providing hors d'oeuvres. NO R.S.V.P. Necessary! See more at YosemiteGoldCountry.com</p>	<p>4-4 SATURDAY - LAVERONI PARK ROTARY EASTER EGG HUNT Begins at 10AM in the park. Children should be at the park at least 30 minutes prior to the hunt. Winners in each age group will receive prizes. All of the Easter eggs will contain goodies for the children. Say hello to the "Big Easter Bunny."</p>	<p>4-5 SUNDAY - THE GRILL @ PML EASTER SUNDAY BRUNCH Seating times are 9am, 11am, and 1pm. Carving station with all your holiday favorite entrees, salads, and desserts. \$35 for Adults, \$29 for 65 or Better, \$15 for Kids 6-12, FREE for Kids 5 & under. Call for reservations at 209-962-8638.</p>
<p>4-10&11 FRIDAY & SATURDAY HELPING HANDS SPRING GIVEAWAY At the Groveland Community Hall on Friday and Saturday, April 10th and 11th from 10 to 4. Everything is free.</p>	<p>4-16 THURSDAY - THE GRILL @ PML WINE TASTING & DINNER BUFFET Seatings start at 5pm. Featuring wines from J. Woods Beverage Company. \$25 per person plus tax. Must be 21 to sample wines. Reservations are required so call for reservations at 209-962-8638.</p>	<p>4-18 SATURDAY - FIRST BAPTIST CHURCH SPRING BOUTIQUE Re-gifted items, baked items, Mother's Day gifts, and a salad luncheon for sale. Proceeds will be used to purchase gifts from the Franklin Graham Samaritan's Purse Christmas Gifts catalog for International Relief. 10am to 1pm at First Baptist Church fellowship hall. 11347 Wards Ferry Road in Big Oak Flat.</p>	<p>4-26 SUNDAY - THE GRILL @ PML 100 YEARS OF BROADWAY SHOW Featuring Sierra Sounds. Come out and enjoy the songs of Broadway and a wonderful dinner of Steak, vegetables, mashed potatoes and dessert. Show starts at 5PM. \$47 inclusive. Limited seating so call for reservations at 209-962-8638.</p>

ENTERTAINMENT AT THE LOUNGE

Friday, April 3 KARAOKE	Saturday, April 18 STONE KOLD
Saturday, April 4 ROCKSLIDE	Saturday, April 25 3RD STAR WEST
Saturday, April 11 ESP BAND	

SAVE THE DATE

Saturday, May 2 TEQUILA TASTING AND LUNCH BUFFET AT THE GRILL From 1 - 3PM. Come out and try some of the finest Tequilas and enjoy a wonderful lunch buffet. Must be 21 or older to attend. Call for reservations at 209-962-8638.	Sunday, May 10 MOTHER'S DAY CHAMPAGNE BRUNCH Seatings at 9am, 11am, 1pm. Carving station with all your holiday favorite entrees, salads, and desserts. \$35 for Adults, \$29 for guests 65 or better, \$15 for kids 6-12, FREE for kids 5 & under. Call for reservations 209-962-8638.
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SOUTHERN TUOLUMNE COUNTY HISTORICAL SOCIETY

Museum Happenings

BY CARRIE CARTER

It's officially spring and the rains have greened up our beautiful community. The wildflowers are beginning to bloom and the museum gift shop offers books that will help you identify the varieties right here in our neighborhood or in Yosemite. We also have an interactive wildflower display on the touchscreen computer in the museum that lets you search for wildflowers by color. The photography is spectacular and the descriptions are informative.

This is also a great time to enjoy the Yosemite waterfalls. Pick up a map in the museum to all the waterfalls in the park and take a drive. Don't forget your camera!

We'd love to help you fill those Easter baskets for Sunday, April 5. The gift shop has a great variety of children's books, puppets, vintage toys, rock collections, jewelry, souvenirs and so much more. Our extended daily hours are until 4:30 for your shopping convenience.

Last month's historical photo from the STCHS Archive was the Robert L. Smith Store in Big Oak Flat. It was located on the north side of Highway 120, just east of the stone structure known as the Gamble Block or Wells Fargo Building. In addition to providing groceries, the Robert L. Smith Store sold gasoline from two glass tower pumps on an island at the front of the store.

The hip roof supported by three square posts which covered the store's front steps still exists today on this structure that now serves as a private residence. Smith served as Postmaster in the post office portion of the store from the 1940s to 1960s before closing the business and moving to Sonora.

Area records show the store was built in 1934 by Annie (Kane) Brinham, although some



think it was built much earlier. Annie Brinham operated the general store and post office until her death in 1944 at which time Robert L. Smith took over. She also owned the center suite of the Gamble/Wells Fargo Building next door from 1914 to 1920 and several other houses on the north side of Highway 120 in Big Oak Flat.

A stone and adobe building believed to be an early trading post sat just east of where the Brinham store was later built. Annie is thought to have operated a grocery store in the 1920s in the early building. The stone and adobe structure was torn down about 1930.

Annie P. Kane was born in 1883 and married Westley Brinham in 1905. Westley died in 1928 and both are interred in the Divide (Oak Grove) Cemetery in Big Oak Flat.

Don't forget to visit us on Facebook!

DO YOU RECOGNIZE THIS BUILDING?

If you can identify this month's historic photo from the STCHS archive you will receive a 20% discount on any single item from the Groveland Yosemite Gateway Museum gift shop (one gift per family).

SOROPTIMIST News

BY BARBARA ELLIOTT

THE SOROPTIMIST SCENE

Our mission: "Soroptimist improves the lives of women and girls through programs leading to social and economic empowerment"

Soroptimist International of Groveland, along with many dedicated exhibitors, brought you the 14th annual Family Wellness Faire. Many members of the Groveland Rotary worked on the numerous committees it takes to bring this service to Groveland. Many of the past members of SIG who have dropped out due to family commitments and travel pitched into the activities necessary to bring this event to the community. Lots of hands worked together to bring this health faire up here.

We certainly hope that you learned beneficial information.

The members will take a deep breath, then prepare for the Awards Ceremony. This is the time for us to learn what talented women we have in Groveland.

This is a great time to see some seniors before they go off to college. You can join us at this luncheon recognizing the award

winners.

Award Luncheon: At noon on May 20, 2015 at the Grill in Pine Mountain Lake. Cost is \$20.00

New officers will be installed June 16, 2015. Plan to join us at the luncheon.

You want to start getting involved in the community. Now that you have experienced the Wellness Faire, you can see how important SIG is to the Groveland community.

Change of venue for SIG meetings!!

Our evening session is held on the first Wednesday of the month at 5:00PM at the THE LITTLE HOUSE.

There is a schedule change for April due to the Wellness Faire: The evening group will meet on April 8, 2015.

The daytime group meets on the 3rd Tuesday, at noon at THE LITTLE HOUSE studio (the building just beyond the House). Members are invited to attend both meetings. We would invite you to call Liz Mattingly at 962-7648. We want you to become an active member of this community.

Yosemite Toastmasters Defused A Bomb on March 11th

BY JOE DE NUNZIO

The Yosemite Toastmasters club met on March 11, 2015 at the Pizza Factory in Groveland, CA, to hear a monodrama speech by their guest speaker, Jim Daniel, and to give short impromptu speeches on the theme "Luck or Destiny".

Mr. Daniel, the District 33 Area F3 Governor and member of Yosemite Toastmasters, traveled to Groveland from Modesto to perform his monodrama. A monodrama is a melodrama portraying a single character. Daniel's speech was titled "Defusing A Bomb" and was an Interpretive Reading from the Toastmasters Advanced Communication series. The enacted reading was based on a Bob Newhart sketch in which Newhart played a police chief talking to one of his patrolmen over the phone. Patrolman Willard had found a ticking torpedo on the beach and called in to report "I found a shell on the beach!" The audience only heard one side of this hilarious telephone conversation, yet could envision the serious drama of non-experts trying to disarm a bomb and save lives.

This was a very advanced speech and because of its complexity, several members of the club participated in the evaluation.

Mr. Daniel received valuable feedback to help him improve his speaking and dramatic skills in the future.

The Table Topics theme for the meeting was "Luck or Destiny" and each member talked for 1 to 2 minutes on this topic. Sondra Ahlén won Best Table Topics Speaker of the day. She gave a short speech on how she decided to take control of her own destiny as much as possible by choosing to believe in free will.

Yosemite Toastmasters meets the 2nd & 4th Wednesdays of each month at the Groveland Pizza Factory. They gather at 11:30 and the meeting starts at noon. Guests are welcome and you may order food at the restaurant or bring a bag lunch. The themes for the upcoming meetings are: April 8th Frogs, Kites, and Flying Things, for April 22nd Earth Day, for May 13th Nursery Rhymes and on May 27th Boating.

Toastmasters International enables individuals to become more effective communicators and leaders. Enjoy the lunch hour with a fun and supportive group. For more information go to www.YosemiteToastmasters.com

Yosemite Toastmasters (209) 962-0314

John R. Ziomek, DPM

Podiatry practice now open in Groveland



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of the foot and ankle.
Diabetics welcome.
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By Appointment Only

GCSD Water Conservation News

BY STEVE PERREIRA

A big thank you to Regina Hirsch and the crew at Sierra Watershed Progressive for teaching the DIY Greywater Seminar on March 21. Sierra Watershed Progressive at Mountain Sage Nursery is a leader in both large and small water conservation projects.

The GCSD Rebates for toilets (up to \$100) and showerheads (\$20) is still available – details at GCSD.org. Outdoors, many residents have switched to drought tolerant landscaping. To save favored flora during this drought, consider directing rainwater from late season rainstorms into swales and mulched catchment basins. Our local experience demonstrates that during a drought year, natural rainfall penetration into the soil is only a foot or two, but with catchment, the whole root depth can be watered, much reducing the need for irrigation (helpful info at

harvestingrainwater.com/).

Paradoxically, as our severe drought continues, local water use shot up 8% in January compared to the 2013 baseline. With no major water breaks from cold weather or otherwise, GCSD is reminding everyone that we will suffer huge financial penalties if we do not conserve at least 20% through the year. Last year we achieved 21% savings.

Conservation pays: The recently installed Water Filtration Plant was funded primarily by State and Federal grants that we were eligible for only because of our successful water conservation efforts in 2014. Grants funded approximately \$1,200,000 of the cost, whereas local ratepayers only had to contribute \$281,000, or 23% of the cost – saving several hundred dollars per customer. The plant is completed and functional. Operation is slated for this Fall.

GCSD Water Conservation Committee

Village on the Hill Launches Pilot Program

BY LISA VAUGHN, MEMBER AND VOLUNTEER COORDINATOR

“On the 4th of July a few years ago I was swimming in Pine Mountain Lake and it suddenly it occurred to me that I was surrounded by weekenders and visiting renters. A light went on in my head and I even said out loud, “I live here! I’m not on vacation, I actually live here.” I realized that like so many of my neighbors that this was not just a vacation place, but our permanent residence with all the vacation amenities. For me it has been a major change from the corporate world, the jammed freeways and the neighbors I didn’t know. There are trees here and nature and lovely weather, most of the time. There are many clubs and organizations that offer opportunity to make friends and encourage participation in the various festivities. Even though we are a small rural town there are many people who have worked tirelessly to improve and encourage growth in our little community.”

– Etty Garber, Village on the Hill Volunteer Team Leader

Village on the Hill (VOH) exists so that neighbors can help neighbors to live vibrantly in our beautiful community, even when aging makes living independently more complicated. With one phone call or online request, individual members have the opportunity to receive up to 10 service units per month, providing peace of mind and connection to others who love our community. Supporting memberships are also available to those who want to support our mission and who want to ensure that we are able to continue to offer

services well into the future. Contact us to join today! All members also receive AARP and PHI Helicopter Evacuation membership and discounts to Southside Senior Services events.

Our Pilot Program launched on March 16, with over 30 volunteers signed up. Some of these volunteers are also members of Village on the Hill, using their talents and skills to serve each other. Our Friendly Faces volunteers do things such as daily check-in phone calls, visit members in their homes, assist with errands, and help members with computers and social media. Our Handy Helpers are doing things like changing lightbulbs, filters and smoke detector batteries, transporting recyclables and donation goods, and conducting Home Safety Checks. Behind the Scenes volunteers are running our office, scheduling services, documenting new members and volunteers and helping with events.

Volunteers attended an orientation in March, which included specialized training by our Volunteer Team Leads: Etty Garber and Barbara Klahn - Friendly Faces; Tom Hernandez – Handy Helpers; Bonnie Phillips – Behind the Scenes. Our next Volunteer Orientation will be scheduled at the end of April, before the full launch of Village on the Hill on May 1.

Find out more information, visit our website at www.villageonthehill.org or call 962-6906 or e-mail info@villageonthehill.org. Like us on Facebook at facebook.com/vonthehill.

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GOT BARK BEETLES?



Western Pine Bark Beetle
Enlarged to show detail

Bark Beetle infestation is a **REAL DANGER** in the Sierra Nevada
STOP them from spreading and **SAVE** your trees

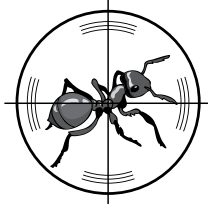
They burrow into and lay eggs inside Pine, Cedar, and Cypress trees. Once they hatch, the larvae eat the tree from the inside and burrow out to infest other nearby trees. Each adult female can lay many eggs at a time and multiple generations are possible each year. Infestation spreads quickly if untreated.

IF LEFT UNTREATED ENTIRE FORESTS ARE ENDANGERED – PREVENTION IS KEY

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May 9, 2015
(9am to 3pm)

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BEFORE YOU BEGIN CONSTRUCTION ON YOUR LOT

The Declaration of Restrictions (CC&Rs) states that no construction of any type (new construction, driveways, grading, lot clearing, etc.) can be performed without prior approval from the Environmental Control Committee (ECC).

Failure to obtain approval could result in the stoppage of work or even fines, and nobody wants that to happen. Inspections are made every Tuesday and reviewed by the Committee every other Thursday, so we can accommodate our members. Please contact ECC before you begin any type of construction at

209-962-8605

HELPING HANDS

HELPING HANDS HAPPENINGS

BY JOYCE SMITH

Happy Easter to all! Hope you made it into the Store and bought some bunnies, baskets and other Easter items. We had a nice assortment of almost anything you might need. Another special event for April is our Spring Giveaway. It will be held at the Groveland Community Hall on Friday and Saturday, April 10th and 11th from 10 to 4. Everything is free.

Welcome to new volunteers: Cindy Simpson (2 days in back) Valerie Kelly will be starting after April, and Kym Purifoy working 1 day in the Barn. Glad to have you ladies join our group. We look forward to getting to know you.

We will pack up Easter and winter clothes on Monday, April 6th (Store is closed). We will rearrange the Store, and start putting out Spring and Summer things. It seems strange to be talking about putting away winter things now. As I am writing this at the end of February, I wonder when we had winter. Oh well, we still have enough time left to have some winter, yet. But, it's strange weather for us to be sure. The poor people on the Eastern coast have really had a severe winter. All we want and need is RAIN.

Thanks for your donations and thanks for getting your items to us before 2:30.

See you at the Store or Barn.

FREE! FREE! FREE! CLOTHING GIVE-AWAY THIS MONTH

BY PATTI BEAULIEU

Due to the continued generosity of our community and their donations, Helping Hands is once again, able to provide a community wide give-away this fall. This is the time of year that we unload all of the

winter clothes that were left in the store at the end of the season and also many 'all season' items, such as PJ's, underwear, and accessories that we've been collecting for the past month. This is our 11th year of doing this for the community. This allows us bring out all the in-season (in this case, spring and summer) inventory that we have in storage and will receive as donations.

In addition to clothing, we'll also have a huge collection of shoes, housewares, purses, linens, toys, stuffed animals, books, videos and whatever else that has been in the store that we can part with. This enables us to stock the racks with spring and summer clothes, fill the shoe racks with summer shoes and clear out some other items that have been around for a while. Regardless of what it is, it will be FREE!!! There might even be a few items from the Furniture Barn given away. It'll be worth it to come in and see what you can find – and of course, the price can't be beat!

All we ask is that you do not sell any of the items you take. They should be for use by you, your family or friends. You can pick up things for costumes at Halloween time, clothing to make quilts, rugs, purses or whatever crafts you have up your sleeve. The school can stock up their 'rainy day closet' where they have changes for those unexpected falls in the mud.

The giveaway will be on Friday, APRIL 10th and Saturday, APRIL 11th from 10 a.m. till 4 p.m.

Mark your calendars! This is a wonderful event that the community has come to appreciate and embrace. Tell your friends and look for the flyers around town

This process doesn't magically happen. Prior to Friday, many of our dedicated Helping Hands volunteers will give even more of their time and spend a day setting up for this, and then come back and clean it up when it's over. This is why we're all proud to be part of Helping Hands – the most dedicated volunteers EVER!!

Groveland Library Spring Basket Raffle 2015

BY ETTY GARBER

Could you be one of the winners this year? You'll have a pretty good chance with possibilities of 8 baskets: the favorite, Chocolate Decadence, 2nd favorite, Wine Indulgence, some new choices, Beer and Bites, Gardening Green-thumb, Beauty and Bath, Summer Picnic, Coffee and Tea and Children's Pleasures (ages 5-7), and the adorable Puppy Print.

All of these will be on display in the library during the week and in the Book Nook on Saturdays from March 21 where raffle tickets will be available for purchase. On Easter Sunday, April 5th and Mothers' Day Sunday May 10th, they will be at the Pine Mountain

Grill for you to see, buy raffle tickets and choose the one or ones you hope to win. We would like to thank the Pine Mountain Grill for generously allowing us to bring the baskets for your perusal.

Raffle tickets will be on sale at the library at any time. For \$5.00 you will receive 6 tickets, \$10.00 you will receive 12 tickets and for \$20.00 you will receive 25 tickets. Remember the more tickets you buy the greater the chance for you to win. Winners will be drawn on Saturday May 23rd at 1pm at the Book Nook. GOOD LUCK!

All proceeds go to the support of the library and the various programs it provides.

Groveland Kiwanis

BY SANDY SMITH

Save the Date, Saturday May 23rd for the annual Taco/Salsa Bar. Pre-sold tickets will be \$13 for adults - \$7 for kids up to age 12, at the door they will be \$15 for adults and \$8 for kids. Prizes, a great dinner, and lots of fun. Grand prize is a 1 hour Yosemite flight for two. See you there. Tickets are available now. For information call Earl Wright 534-9548 or Sandy Smith 962-4950.

April 11 is Kiwanis One Day. This is a time set aside by Kiwanis everywhere to help in their respective communities. Kiwanis is a global organization of volunteers dedicated to improving the world, one

child and one community at a time. It is a global effort but its made up of personal commitments. It begins with Groveland Kiwanis participation, it extends to the impact on our community, and it results in an international spirit of service that inspires people worldwide.

May 2nd Kiwanis will be participating in RELAY FOR LIFE. If you would like to participate you can sponsor a "walker" by calling Earl Wright 534-9548 or Sandy Smith 962-4950

Groveland Kiwanis meets each Tuesday, 4:30 at Pizza Factory. Be a big part of our community, come and join us.

Writing Class in Groveland

BY LYNN MCCORMICK, YOUTH, LITERACY, & OUTREACH LIBRARIAN, TC LIBRARY

The published author and columnist Bill Manville has once again agreed to teach his popular and free Writing to Get Published class at the Groveland Branch of Tuolumne County Library. Bill's writing classes will run for six Saturdays starting April 25 through May 30, 2015. Classes begin at 2:00 PM and end at 3:30 PM.

Here is what Michael Korda, Editor in Chief, Simon & Schuster, says about Bill:

...the work I know best is your novel Goodbye, which I edited. What first attracted me was the dazzling prose; I was equally impressed by plot and characterization. A considerable literary accomplishment but also a Book of the Month choice, bringing an impressive price at paperback auction. What may also interest your students, I've heard you in discussion with writers like Joe

Heller, Patricia Bosworth, Lois Gould and Gay Talese, and remember thinking more than once, Bill ought to be teaching...

This free class is open to students of all ages and participants do not need to attend all of the classes. High school age students are especially welcome. The only requirement is a desire to learn how to write. Sign up at the library or phone 962-6144.

Bill is asking that participants email him at whmanville@yahoo.com when they register at the library so that he can get to know his writers before the first class. So sign up at the Groveland Branch, and let's get started.

For further information contact: Michalene Martin, Groveland Branch (209)-962-6144 mmartin@co.tuolumne.ca.us

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Big News From The Little House

BY ANN DAWS

The signs of Spring all around us seem to inspire a burst of creative energy. If you find yourself searching for avenues of expression for your creativity and imagination, our new classes at The Little House may be just the catalyst you require.

NEW GROUPS - "Leaky Margins" is the intriguing name of a free expression monthly **Writing Class** led by Cris Todd. She describes the class, held on the first Wednesday of every month from 2-4pm, as a way to explore writing without worrying about the usual rules, limitations and judgments. By opening up the creative process, Cris is encouraging her students to free themselves to think and write in a fresh way. Her enthusiasm for this method allows her students to enjoy a sense of freedom and joy as they approach writing. Please contact Cris at 962-0839 for more information about this free class.

We know that our area is home to many accomplished quilters. If you've had a quilting project on hold for a while, or if you have a great idea for a new quilt, join our new **Weekly Quilting Bee** on Tuesdays from 10-3pm. Just bring along your sewing machine, quilting materials, and share ideas and a convivial atmosphere with other quilters. Please contact Charleen Beam (962-0403) or Donna Wolf (962-6604) for details about this free group.

FILMS - Our free documentary film series focusing on the issues of health, food safety, and organic farming continues. Chris Eakle is hosting the following films throughout April and early May: 4/1 (Fresh, The Movie), 4/8 (Back To Eden), 4/15 (Permaculture Orchard, Beyond Organic), and 5/6 (Food



Production for Backyards and Small Farms.) Film showings at 6pm. Please contact Chris 962-5536.

GRIEF SUPPORT GROUP

- All of us deal with loss of one sort or another throughout our lives. This may be the loss of a spouse or dear friend, the loss of a beloved pet, or the loss of our health or mobility. If you're dealing with loss or grief in your life, don't feel that you must shoulder the burden of these feelings on your own. Please come experience the benefits of a free, confidential and supportive group held from 10:30-12 noon each Wednesday. Contact Judy Myers (962-5157).

SPRING CRAFT FAIR - Please join us for this sampling of handmade crafts, food items, jewelry, and more from 10-4pm on **April 24-26**. If you are interested in selling your own craft items, you may contact either Barbara Klahn (962-6404) or Judy Gross (962-4023) to reserve a space. Cost for vendors is \$10/ table per day.

SPRING CLEANUP DAY - Please call 962-7303 or e-mail us at info@thelittlehouse.org to volunteer for our annual spruce up on **Saturday April 18 from 9-2pm**. We're looking for folks who can share tools and time for weed-whacking, painting, gutter/roof cleaning and gardening. If you have wheelbarrows, pickups, power tools, ladders, and garden tools please bring them along!

Remember to check our website/calendar at: www.thelittlehouse.org for more details about our program offerings. Or phone 962-7303.

YOSEMITE HWY 120 CHAMBER OF COMMERCE

Spring Marketing Campaigns

BY: MARC FOSSUM, MARKETING COMMITTEE CHAIRPERSON

The Yosemite Hwy 120 Chamber of Commerce is ramping up for the return of two Spring marketing campaigns.

In the aftermath of the Rim Fire of 2013, the Marketing Committee of the Chamber created the **Wildfire to Wildflowers / Rebirth of a Forest** campaign to encourage visitors to come witness the spectacular bloom of Spring wildflowers in the Rim Fire burn area. Those who heeded this opportunity were not disappointed.

A passenger airline based in the U.S. Great Lakes area featured our Wildfire to Wildflowers campaign in their in-flight airline magazine and numerous travel writers contacted us when they heard of the wildflowers and the "Rebirth of a Forest." Rumors are that the spring flowers could even be seen from the International Space Station, although we aren't able to confirm this. Following on the success of this campaign last Spring we will feature it again this coming Spring.

Our second campaign—designed to attract more tourism—is the **"HWY 120 Adventure,"** along with its eye-catching "Route 66" style logo. The Hwy 120 Adventure was the brain-child of our marketing committee last year. The "Adventure" features all of Highway 120, from Manteca to Benton Hot Springs, as a full vacation destination with activities to easily fill a two-week vacation itinerary.



The HWY 120 Adventure is the only Yosemite gateway highway tourism campaign where all communities are co-operating in promoting the route to and from the park. Our efforts focus on the unique attractions and features from Yosemite Junction to the Big Oak Flat entrance to Yosemite National Park. For more information please see our web site www.Groveland.org, or contact the office at 209 962-0429 or visit our office in downtown Groveland, California.

Pine Cone Singers Say "Let Us Entertain You"

BY BOB SWAN

The program is pretty well set for the Pine Cone Singers Spring Concerts, scheduled for May 14-17 at the Groveland Evangelical Free Church. The theme of this spring's show is "Let Us Entertain You", and we look forward to doing just that.

As you can guess from the theme, we'll be doing some jazzy show tunes – such as "Lullaby of Broadway" and "Diamonds Are a Girl's Best Friend", and, yes, "Let Me Entertain You". We'll balance it out with more contemplative pieces, such as "Danny Boy" and "Shenandoah", as well as a lovely twenty-first century composition based on a sixteenth century poem, "Amor de mi Alma". And we'll spice it up with some fun stuff like "The Ballad of Sweeney Todd" and "Chili Caliente" (you'll want to pay attention to the words on that one).

As usual, there will also be solos from our talented members. I'll have more on

that next month.

Pine Cone Singers has been Groveland's community chorus for more than thirty-five years. Although it's too late to join for this concert, we are always on the lookout for new singers. We take people of all skill and experience levels (it's a COMMUNITY chorus). If you'd like more information, please contact Luke Sullivan at 962-5952.

In any case, please note the dates of the Spring Concerts, May 14-15 at 7:30 PM, and May 16-17 at 2:00 PM. Advance tickets will be available at Yosemite Bank, Hotel Charlotte, Dori's Tea Cottage, and Marijke's Hair, or from any Pine Cone Singer. Advance donation is \$10, at the door \$12, and children 12 and under are invited to attend for free. Hope to see you there!

Support Meetings in Groveland

Al-Anon

The Little House – Saturdays 9:30-10:30 AM

Alateen

Groveland Youth Center – Tuesdays 5-6pm
Contact/Questions: GrovelandAFG@gmail.com

Sierra Grief Support

The Little House – Wed's 10:30am-Noon
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Home Grown Sprouts

BY TOM KNOTH AND PAULA MARTELL

Sprouts are probably the most nutrition rich life stage of any vegetable or legume and they are pretty darn tasty to boot. We have sprouted alfalfa, clover, fenugreek, mung beans, lentils, sunflower, broccoli, quinoa, and arugula. And there are so many that we have not yet tried such as wheatgrass, barley, rye, cabbage, kale, adzuki, garbanzo, pea, basil, and turnip.



Our favorite sprouts so far? Paula likes radish, and I like mustard. Radish sprouts taste like radish, and mustard sprouts taste like horseradish. We love them on salads and sandwiches and almost always have them in supply for such. The price for buying seeds and sprouting on your own is incredibly lower than the price for buying store-bought sprouts, and sprouting is so easy!

once again.

Ordering Seeds – We have tried seeds from local health food stores and from discount seed/spice supply websites. Some work and some are useless for sprouting. The only reliable suppliers are those dedicated to sprouting, and ones that supply organic seeds. *Sproutpeople.org* is one such supplier.

Harvest – Most sprouts will be ready for harvest in 4-6 days. Again, please refer to *Sproutpeople.org* for specific information on the seeds that you are sprouting. To separate your sprouts from seed husks, completely fill a bowl of water that contains the sprouts and swirl it after it is full. Most of the seed husks will float and will be ejected from the top of the bowl with further swirling. Most other seed husks will settle at the bottom of the bowl, allowing you to remove the de-husked sprouts above them by hand or by strainer.

Growing Sprouts – Although there are many methods of growing sprouts, you can efficiently do so with just a mason jar and some cheesecloth. You can find specific information on germinating and sprouting any particular seed at *Sproutpeople.org*. In general, you will soak seeds 8-12 hours depending on the seed variety, and then place them in a mason jar with cheesecloth capped or rubber banded on the top. The seeds are then drained. Every morning and evening, rinse and drain the seeds

Storage – Pat your de husked seeds between cloth towels, and then place in a paper towel lined covered bowl or Tupperware. They should keep for up to two weeks. Serve them on salads, sandwiches, burgers, or whatever sounds good to you, and enjoy this super nutritious treat!

For more detailed information and photos on sprouting please visit <http://homesinpinemountainlake.com/home-grown-sprouts/>. We invite questions or feedback and you can contact Tom and Paula at 209-962-5838 or tomknoth.com

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Yosemite Foothills Fire Safe Council

BY NANCY PERRY, SECRETARY

To All Fire Community Friends,
Yosemite Foothills Fire Safe Council is a non-profit, non-governmental, non-regulatory community partnership of residents, property owners, businesses, and agencies working together to reduce our vulnerability to the threat of wildfire. We work closely with the US Forest Service, CAL Fire, and others by creating fuel breaks and defensible space surrounding homes and communities to improve chances of withstanding a wild land fire. Preparation must begin long before smoke appears on the horizon

Board members to serve in the interest of our community. These are important positions requiring dedicated people interested in the management and reduction of fuels, creation of fire breaks and establishing better fire protection. We meet once a month, the second Tuesday of each month.

Become a fire wise member of your Fire Safe Council. The Yosemite Foothills Fire Safe Council is looking for a treasurer and additional

If you are interested or would like more information, please contact Rick Whybra, Chairman.

209-962-7610 desk
209-768-7628 cell
Rick Whybra, Chair
Nancy Perry, Secretary
yffscouncil@gmail.com



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Healthy Habits FROM PINE MOUNTAIN THERAPY

BY JULIE TANAKA, PT

"You mean I have to DO the exercises?" Short answer, "Yup, you do".

When we see a new patient in therapy we assess the problem and over the next few weeks develop a program to address the weakness, tightness and or imbalance. Usually the patient feels better and is discharged back into the world. Then some time later we see them back in the clinic with the same problem. When asked about their home exercise program we learn that exercise compliance has dwindled and disappeared.

Honestly, if everyone did what they were suppose to do I'd be out of a job. But our job as PTs is to get our patients motivated and committed to following through with their exercise program.

The big question is, how do we get patients to be compliant? Studies show these factors add to compliance:

Desire to please the therapist: (I interpret this as the "guilt" component). One of my favorite stories is about my step dad, age 78 at the time, a dentist, college track star and life long athlete. Sitting in the PT clinic waiting room for his appointment. He took out a sheet of paper with the exercises on it, folded it several times, and sat on it a few times. My mom asked what he was doing. He said he wanted the therapist to think he had been doing his exercises. Wait, what?! That's not how it works! Let us know if the exercise program is too long, too painful, too boring so we can adjust it. Carrying around an exercise sheet won't magically make a change.

Perception of benefit: By the time you're done with PT you should feel better. The emphasis should be on continued exercise and modification to daily life that will continue to benefit you. Example: if you see us for neck and arm pain brought on by long hours at the computer, (you know who you are). With therapy you feel better and you learn about posture, taking work breaks and regular stretches. Then you go right back to sitting for 8 uninterrupted hours perched on your chair like a vulture peering at a computer screen and wonder why the PT didn't last. It's not like a vaccination (uh-oh, hot topic) The new habits learned need to be consistently incorporated for long term benefit.

Severity of the symptoms: Often at the completion of therapy you feel better. You don't get the constant reminder that you need to do the exercises. "It's a miracle! I'm cured!". It's not a miracle. It's a balancing of strength and flexibility, posture and habits that need to be continued, sorry.



Good news! I've been pretty impressed with our patients at PMT. I do see more follow through, more understanding of the need to be consistent. I believe it has to do with the sense of community and ease of access. Patients will often stop by to ask Kerrie or myself questions about their programs or join the Maintenance program to help them stay on track.

But we are here for you, no judgment. After all there is job security for us in non-compliance.

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Home in Groveland

BY ETTY GARBER, PHD, LICENSED MARRIAGE AND FAMILY THERAPIST

On the 4th of July a few years ago I was swimming in the Pine Mountain Lake and suddenly it occurred to me that I was surrounded by weekenders and visiting renters. A light went on in my head and I even said out loud, "I live here! I'm not on vacation, I actually live here." I realized that like so many of my neighbors that this was not just a vacation place, but our permanent residence with all the vacation amenities. For me it has been a major change from the corporate world, the jammed freeways and the neighbors I didn't know. There are trees here and nature and lovely weather, most of the time. There are many clubs and organizations that offer opportunity to make friends and encourage participation in the various festivities.

Even though we are a small rural town there are many people who have worked tirelessly to improve and encourage growth in our little community. Volunteerism has played a major role in building a beautiful park, a substantial library, a youth center that provides youngsters with many activities and a senior center known as The Little House. There are many services, support groups,

learning and social activities offered to the elder community. The newest program that is being developed is called, THE VILLAGE ON THE HILL. It was initiated and is being developed by local residents to improve the quality of life for older adults. Most people prefer to remain in their own homes as they age. As we grow older we find that we may need some assistance to do things we used to do by ourselves. Neighbors are committed to helping each other, and advocate for living safely with dignity and respect. Volunteers deliver programs and provide services to members who pay an annual fee which will include personal contacts with friendly volunteers who may contact them on a daily basis, handy helpers who can perform minor chores around the home and transportation when required.

This is not a new concept. There are over 100 communities across the nation that have established this Village model as the growing need for people living longer and more active lives than ever before. If you are interested in getting more information you can look on line: info@villageonthehill.org or call 209-962-6906.

Dr. ETTY Garber Ph.D.
in Clinical Psychology and a licensed Marriage Family & Child Therapist, with 32 years experience in mental health, lives in Groveland and
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Annual Groveland Rotary Easter Egg Hunt

BY RUDY MANZO

It is that time of year again to get the children ready to go out and hunt for Easter Eggs. The Groveland Rotary Club will be holding the Easter Egg Hunt on April 4th starting at 10:00 AM. The event will be held at Mary Laveroni Park. Event Chairman, Richard Fries has been busy getting all of the Easter eggs gathered and are ready for the children to find and consume the "goodies" placed inside. He has also made certain that the winners in each age group will have a variety of things to choose from as their prize for finding the most eggs.

We encourage the parents to have the children there at least a half hour before the so that they will have a chance to say hello to the "Big Easter Bunny". Be careful, as he might try and talk you out of some candy as he always comes to the event hungry. This promises to



be a great day for the children and we look forward to seeing all of you there to hunt for eggs and have some fun mixing with everyone that is there. Remember to dress warmly, as it is sometimes chilly in the morning and the Rotarians do not want to see anyone get sick. We look forward to seeing the smiling faces on Saturday April 4th.

Back by Popular Demand

BY LAUREN NICKELL

Tangled Hearts Bakery... "where everything is made with love", has re-opened for the spring-summer-fall season, ready to tempt your taste buds. Following a successful first year, Groveland's popular new bakery and eatery, Tangled Hearts has added many new items to the menu. In addition to the fabulous pastries, cookies, tarts, bars, muffins, & legendary cheesecake, and the popular biscuits and gravy, breakfast burritos, quiche, and chili, new items include two egg breakfasts, fresh sandwiches, hamburger and hot dog sliders, and much, much more. Additional gluten free options are now available, as well as fresh baked bread

(not GF). Both breakfast and lunch are still available all day, from open until close. Hours are Tuesday through Thursday 6am to 1pm and Friday through Sunday 6:30am to 4:30pm, closed on Mondays. There is plenty of seating indoors & out, and ample parking. The bakery is located just off Ferretti Road at the east end, adjacent to Highway 120, at 24000 Casa Loma Road, (where the river rafters start), less than 10 minutes drive from Groveland! Close to town and an easy stop-off, on the way to Yosemite. For more info visit the web site: www.tangledheartsbakery.com, or phone-in orders or questions 209-962-0907.



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Mountain Lutheran Church

BY PASTOR GINGER DUMARS

What a beautiful Spring we're all enjoying with Easter Celebrations coming soon! As you receive this April Edition of PML News we'll be preparing for Holy Week which begins on Palm/ Passion Sunday, March 29. At Mountain Lutheran Church (at 10:00) we'll celebrate Jesus' Joyous Entry into Jerusalem with crowds shouting "Blessed is the One who comes in God's Name" as the Messiah, God's Son! By the end of that Palm/ Passion Sunday Worship our thoughts will turn to the events that take Jesus to his Cross of Crucifixion on Friday. March's 5th Sunday Gospel Sing is being hosted by & held at Groveland Evangelical Free Church (19172 Ferretti Rd.) on Palm Sunday Eve., March 29 – starting at 6:00 p.m. with refreshments after the singing.

Our Community's Good Friday's NOON Service on April 3 is also being held at Groveland Evangelical Free Church (19172 Ferretti Rd.) – led by Foothills Ministerial Association. Scripture Readings & Music, Prayers & Meditation will help us reflect

on Jesus' sacrificial death & what it means for us. A Good Friday Eve. Vesper Service is being hosted by & held at Groveland's 7th Day Adventist Church (19585 Elder Lane) at 6:00 p.m. (on April 3).

EASTER morning (April 5) begins bright & early with our Community's Early Easter Service at 7:00 a.m. at Mountain Lutheran Church (13000 Down to Earth Ct. – off Ferretti Rd.). Our Foothills Ministerial Association Pastors will read various Scriptures & offer Prayers & lead our Joyful Praise Music – celebrating the Resurrection & New Life of Jesus Christ & God's Promises for Eternal Life for All Believers! Festive Easter Lutheran Worship begins at 10:00 a.m. with refreshments offered after both services. We will continue celebrating the Easter Season for 7 Sundays at Mountain Lutheran Church! Come & Celebrate!

Everyone is always WELCOME at Mountain Lutheran & at ALL of our Communities' Christian Churches! Come & experience God's Good News for YOU!

Spring Boutique at First Baptist

BY PATRICIA HELLING

The Ladies Mission Group of First Baptist Church, Big Oak Flat is having a Spring Boutique. There will be re-gifted items, baked items, Mother's Day gifts, and a salad luncheon for sale. Proceeds will be used to purchase gifts from the Franklin Graham Samaritan's Purse Christmas Gifts catalog for International

Relief. This is the fifth year our Ladies Group has participated in this project. Come join us on April 18, 2015 from 10:00 a.m. to 1:00 p.m. at First Baptist Church fellowship hall. 11347 Wards Ferry Road in Big Oak Flat. For more information contact Wanda Day at 209-770-6179.

Tioga Landscape Class

BY RYAN DUTTON

We have gotten so many kind donations from this wonderful community helping our landscape class that we are so thankful for. We have been able to do so many projects because of your kind donations. We just want to remind everyone that they can donate landscape supplies that we can use to spruce up our campus. We can virtually use any building materials such as drills, saws, extension cords, leaf blowers, rakes and outdoor lights. It is

not limited to that, either. We could use some super large pots to plant trees as well. Thank you in advance for being such a supportive community that truly gives back!

We will provide you with a tax write off receipt and can pickup your donations as well.

You can email rdutton14@gmail.com or call the school at 962-4763 to speak to Ryan Dutton (teacher).

Tioga High Culinary

BY KAREN SEALS

The Tioga High School Culinary class would like to thank the Sonora Area Foundation and the Groveland Rotary Club for their generous financial support.

The new Tioga High School Culinary Arts class goal is to empower students by providing academic and technical skills to succeed in culinary careers. The Sonora Area Foundation has helped us work toward this goal by providing a generous donation to purchase much needed culinary equipment to set up four cooking stations.

The class then needed a safe, secure and organized way of storing all the new equipment. The Groveland Rotary Club stepped up and provided four large stainless steel, locking cupboards to hold all our new equipment.

Tuolumne County and the Groveland community are wonderful! What a wonderful way the community came out to support our local youth and help prepare them to become successful young adults.

Joshua Dowling Wins First Place at Occupational Olympics

BY KAREN SEALS

Tioga High School is very proud to announce that on March 5th Joshua Dowling, won First place at the Tuolumne and Calaveras Occupational Olympics, hosted by the Columbia College Career Technical Education Division. This contest allows regional high school students to develop the abilities to think critically, communicate clearly, and perform effectively through CTE competitions. Tioga High school is very proud of Joshua and this great achievement.



Joshua Dowling & Principal Dave Urquhart

Tioga High Yearbooks

BY RANDI SCOTT, YEARBOOK AD SUPERVISOR

Yearbook ads for sale in Tioga High School's yearbook. \$25 dollars for a card, \$50 for a half page, and \$100 for a full page. If you can't bring it in or want a picture of you in front of your business we can come and take that picture for you

and pick up your money all at the same time. Just call and let us know ahead of time (962-4763). It's a tax deduction and helps Tioga put out a great yearbook (not to mention great publicity for your business!).

Tioga High Weight Room

BY DAWNELLE DUTTON

We can always still use equipment for our weight room at the Tioga High. We have a weight training class that uses this equipment daily. We need to make sure it's equipment that we can use because we have limited space. We are looking for elliptical machine, a recumbent stationary bike, weight benches, newer

hand weights, stability balls, weighted balls, and anything in newer condition. Call Tioga High School and speak to Mr. Dutton about arrangements at 962-4763 or email rdutton14@gmail.com. We thank you in advance and for your donation we can provide you with a receipt for your tax write off.

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TENAYA ELEMENTARY SCHOOL PHOTO CONTEST

Student Photographers Honored at February Awards Ceremony

BY BONNIE BELISLE, STCHS PHOTO CONTEST COORDINATOR



The young photographers with their photos.

Thanks to all who were there to support our young photographers at the Awards Ceremony held on Feb. 25th at Tenaya Elementary School. The 2014 Tenaya Elementary School Photo Contest ended January 30, 2015 when ballots were counted. The 11 student participants anxiously awaited the results with audience of their teachers, families and members from our community. We had an amazing turnout of voters this year – even more votes than last year! Thank to our Museum Docents for encouraging all visitors to vote! So thank you all again for your support! This year we added two honorable mentions as they both had a large number of votes. The photos were fabulous and we heard from many that it was a very difficult decision in casting the votes.

This contest would not have been possible if it were not for our sponsors, STCHS (Southern Tuolumne County Historical Society) and the Groveland Rotary Club who donated funds for expenses and prize money. And, a special thanks to our local merchants for prizes for our award recipients: The Anker Family of the Priest Station Café and Earl Wright of the Pizza Factory. And, also a big thanks to Robb Hirsch for his generous donation of three of his amazing photos from his gallery. Thanks also to Warren Belisle who gave photo tips to the students and to Rich Hathaway, Museum Exhibit Coordinator, who created the Photo Display in the museum.

Contest Results:

All 11 students received a Certificate of Participation as well as a photo key chain with a mini version of their photograph and

certificate inserted within a plastic case.

1st Place: Keri Miller 7th Grade – \$35 – “Lone Wolf”

2nd Place: Katey Klein 5th Grade – \$25 – “The Symmetrical Chickens”

3rd Place: Riley Bias 8th Grade – \$15 – “Half Dome Wonder”

Honorable Mention: Haley Pollock 6th Grade – \$10 -- “Nature’s Beauty”

Honorable Mention: Melanie Radanovich 7th Grade -- \$10 -- “Together Forever”

Ashton Bias 6th Grade – “Target Acquired”

Caitlyn Fagundes 7th Grade – “Sleepytime”

Merana Haven 8th Grade – “The Newt and the Root”

Amelia Hendersen 5th Grade – “In the Morning”

Erinn Morehouse 6th Grade – “Begging Puppy”

Kira Radanovich 7th Grade – “New Generation”

We want to thank all 11 students for a job well done and for sharing their photos with our community in the Museum Exhibit – you are all “winners” in our book! Our Museum visitors have thoroughly enjoyed your photos! If any of you have not yet seen the exhibit, the display of photos will remain up for another month or two, so don’t delay! Students: We are already looking forward to this Fall’s Photo Contest so keep a sharp eye open for what makes an interesting photo – remember the composition rules of thirds (1/3 – 2/3) and lighting.

Tenaya Second Trimester Honor Roll

4TH Grade Honor Roll

4.0 GPA or Above – Aubrey Harris
3.5-3.99 GPA – Harley Lennen, Ryan Ohrt, Madison Darrow, Otto Ennis, Anaya Ramirez, Shayla Bertram, Mary Jane Hersom
3.35-3.49 GPA – Eric Petro, Cheyenne DeCarli

5th Grade Honor Roll

4.0 GPA or Above – Amelia Hendersen
3.5-3.99 GPA – Aidan Ohrt, Lianna Lim, Jacob Cassaretto, James Navarro, Beaumont Cook
3.35-3.49 GPA – Dakota Strickler, Giancarlo Ghio, Amber Fagundes

6th Grade Honor Roll

4.0 GPA or Above – Lucy Hessler
3.5-3.99 GPA – Richard Park, Imani Loh, Allison Sands
3.35-3.49 GPA – Daniel Timmins, Maisy Pearlman, Ashton Bias

7th Grade Honor Roll

4.0 GPA or Above – Riley Hessler
3.5-3.99 GPA – Josh Kappl, Sierra Kersey, Keri Miller, Kira Radanovich, Ailee Lim, Bayli Gerber, Anna Wilson
3.35-3.49 GPA – Jaydon Spires, Melanie Radanovich

8th Grade Honor Roll

4.0 GPA or Above – Leo Sweeney
3.5-3.99 GPA – Nicole West, Joshua Follmer, Nicholas Weeks

STUDENT OF THE MONTH

Tenaya Elementary Student of the Month



Imani Loh

Tenaya’s student of the month is 6th Grader, Imani Loh. Her teacher, Ms. Jeffrey says, “Ani is an artist and an athlete. She is class president, and is appreciated by all her teachers for her diligence and generosity. We who know her count ourselves fortunate.” Ani’s parents are Chris and Corinna Loh of Groveland.

Tioga High Thanks Groups for \$\$\$

BY KAREN SEALS

The Tioga High School Culinary class would like to thank the Sonora Area Foundation and the Groveland Rotary Club for their generous financial support.

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Tuolumne County and the Groveland community are wonderful! What a wonderful way the community came out to support our local youth and help prepare them to become successful young adults.

Tenaya Elementary School First Annual Walkathon

BY KATHY FOLLMER

Tenaya Elementary parents are hard at work planning our 1st annual Walkathon on Saturday, May 16, 2015. This fundraiser will help our school purchase supplies, playground equipment and support educational enrichment programs. But wait there’s more!

We are going to have a variety of activities for all ages, food and music.

Our school is committed to teaching our children about health and wellness. This event will be a wonderful opportunity to show our students how much fun exercise can be! Would you like to become a sponsor for our school? You can make a difference and call the Walkathon Chairperson Kathy Follmer at 962-7496.

Thank you for supporting our school.

RELIGIOUS SERVICES

Big Oak Flat Baptist Church

Wards Ferry Rd., 3 blocks from Hwy. 120,
 Pastor: Jim Lowe • Sunday School 9:45 am,
 Worship 11 AM & 6 pm

Buck Meadows Community Church

Old Hwy. 120 & Buck Meadows
 209/962-5789
 Pastor: Josephine Ellis
 Sunday School & Worship 10 am
 Food Pantry Open each Sun before & after service
 Potluck 3rd Sunday after service

Groveland Christian Church

(Non-Denominational)
 18829 Foote St., Groveland, 209/962-7654
 Pastor / Elder: Jack Woodland, Dennis Smith
 Sunday Worship 11:00 AM; Bible Study 9:30 AM;
 AA Tuesday & Thursday 7 PM • Ladies Bible Study
 Monday 4:00 PM • Wednesday Night Bible Study 7
 PM Call 962-4950 for directions

Church of Jesus Christ of Latter Day Saints

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Evangelical Free Church of Groveland

19172 Ferretti Rd., 209/962-7131
 Senior Pastor: Ron Cratty • Services: Traditional
 9:30 am, Contemporary 11 am
 Mid-week Bible Studies
 (please call for information)

Foothills Community Church

18717 Main St., Groveland
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 (groups for all ages) 9:45 am, Child care provided
 at all services. Weekly Home Bible Study,
 call for times

Grace Episcopal Mission

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Groveland Seventh-Day Adventist

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Jewish Services

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Mountain Lutheran Church

13000 Down to Earth Court (off Ferretti)
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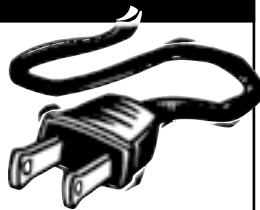
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209-962-6014
ask for John, Owner/Broker

GRAZING PASTURE
in downtown Groveland. For Rent at \$300.00 per month or \$100.00 per horse. Call Terry 650-520-1022



18569 HWY 120, GROVELAND
4000 sq.ft. with great highway exposure, new parking lot to be constructed adjacent to the property for the benefit of future tenants. Call agent for details. 650-520-1022

HOMES FOR RENT / LEASE

ROCK CANYON RENTAL AVAILABLE SOON
3 bedrooms, 2 baths, 1534 sq ft, garage. \$950/ \$1350. 209-878-3292

RENTALS WANTED

EXCELLENT TENANTS
w/excellent credit and rental history looking for homes to rent. Owner approves tenant before placement. Call Yosemite Region Resorts 800/962-4765

LAND FOR SALE

GOLF COURSE LOT
Unit 7-29, 6th Fairway,
View, Buildable,
PRICE REDUCED \$17,000
MUST SELL
415-897-2791

LOT FOR SALE
Nearly level, ready to build lot. Unit 6-146 on Cottonwood St. Motivated to sell. **\$12,500.** OBO 650-866-4721

PRIME 1.74 AC LOT NEAR AIRPORT
Gentle slope. Southern exposure with panoramic view. Very private. Sewered. U11/L56 Elderberry Ct. For more info call Cell 209-768-4406

LARGE LEVEL, EASY BUILD, SEWERED LOT
Unit 3/ Lot 122 - Nob Hill Circle
On quiet street close to the Lake Lodge, Fisherman's Cove and Tennis Courts. **MAKE OFFER.** For information call 209-962-4617

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A AMERICAN ELECTRIC & SERVICE CO. Lic. #465220
209/962-7374

BERT'S WEDEATING AND LOT CLEARING
962-6724

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Call Joe for all your Roofing and Gutter needs. Licensed, Bonded, and Insured. License # 976739
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SERVICES

FOR YOUR REVERSE MORTGAGE, REFINANCE, NEW HOME LOAN PURCHASE NEEDS
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RE/MAX Yosemite Gold
Patricia (Tish) Fulton BRE# 00760019 Property Manager
Certified by California Association of Realtors 209-962-0837

LOVING PET CARE in my home or in yours - garden care also available. Call Barb 962-5653 or email at shadkitty12@gmail.com

HANDYMAN - For removal of unwanted items. Have 20 foot enclosed trailer, need something moved? **Also, tree trimming available.** Call Mike, very reasonable rates. 209-962-0777

COSTA'S TREE SOLUTIONS
Steve Costa, Owner
Fully Insured/Bonded
C.C.L. #818373
209-962-4468
Cell 209-768-4469
Certified Arborist #WE7496A

LINDA'S LOVING CARE
Local, Reliable, Caring and Responsible - Caring for a loved one - House sitting - House cleaning - Rides to Doctor's appt., etc. Call Linda 209-985-2363 cell

FURNITURE & CHAIR REPAIR/ WOODWORKING
Retired Cabinet-maker will repair all types / kinds of furniture
962-7604

SERVICES

BIG JOHN HANDYMAN SERVICES
Yard Maintenance, House Maintenance and moving households Call John 962-6163

GOT WEEDS?
Contact Jim Atkins at 209.985.4376. Lot Clearing, Hauling, Dump Runs, Weedeating. Local Guy. References available.

LOREN SNIDER'S TREE SERVICE
27 years expert, safe tree work. All sizes and types of trees. General pruning, ornamental pruning, weight reduction with drop crotching method, mistletoe removal, expert technical tree removal, dump truck chipper, stump grinder, liability insurance, local references, **Responsible, Reputable, Reasonable, Reliable, Rapid Service. PREFERRED PML VENDOR 209-878-3828 / cell 209-402-9797**

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I moved to Pine Mountain Lake from the Bay Area with 23 years as an independent insurance broker. I write business with most standard Insurance Companies for California homeowners. Call, fax or email me for a quick quote and get that personal local service you deserve.
Commercial Business Insurance Agency, Inc. Jess Skelley
CA Broker Lic# 0F50039
209-732-3514 office
800-726-4889 fax
www.cbi-agency.com
email jess@cbi-agency.com

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HELP WANTED

FULL TIME BOOKKEEPER
Fast paced office looking for a full-time long-term employee. This person must be an organized, honest, dependable, self-starter who is detail oriented, team player and has a sense of humor. Must know QuickBooks, A/R, A/P, Payroll and handle heavy phones. Starting at \$11/hr, raise after 90 day probation period. Mail resumes to P.O. Box 278 Big Oak Flat, CA 95305 or Drop off at 11300 Wards Ferry Rd. Big Oak Flat. Email resumes to info@moorebrosscavenger.com

FREE CLASSES

ESSENTIAL OILS COMPLIMENTARY CLASSES SCHEDULE

Essential Oils 101: class covers what essential oils are, how safe are they, why quality matters, AND how and when they should be used. Natural, safe, effective, easy to use. **Wednesday, April 15th at 6pm** at CURVES on Main Street, Groveland

Weight Loss & Management: How eating right, exercising and reducing toxic exposure allows the body to properly function. **Saturday, April 18th, at 1pm** at CURVES on Main Street, Groveland

Non-Toxic Cleaning: Kick the chemicals and dirt out of your home with this super awesome class. **Sunday, April 19th at 1pm** at The Standard Pour in Standard, CA (east of Sonora)

962-7196 or cday77@outlook.com

PMLA LOTS FOR SALE

PMLA OWNED LOTS FOR SALE:

2/020	Mueller Drive	\$1000
2/353	James Circle	\$1000
4/232	Point View Dr	\$1000
6/056	Cottonwood St	\$1000
6/179	Cottonwood St	\$1000
7/026	Ferretti Road	\$1000
7/063	Ferretti Road	\$1000
7/069	Ferretti Road	\$1000
8/006	Sunnyside Way	\$1000
8/007	Sunnyside Way	\$1000
13/309	Ridgecrest Way	\$1000

For further information regarding this property please contact PMLA at (209) 962-8600



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19809 Pine Mtn Dr-1/466 JUST TWO HOUSES AWAY from the PML Marina & beach. Two-levels, 3bd, 2-1/2ba, 1821sf, bonus room, 1-car garage plus carport. Living room, dining, kitchen, master suite and half bath off the foyer on main level. Bonus room, guest bedrooms and full bathroom. Great primary or vacation home. Excellent potential for vacation rental income! \$275,000 #20150335



19335 Pleasant View-1/235 RUSTIC MOUNTAIN CABIN tucked away in the trees, yet near the lake & beach at Dunn Ct. Just minutes from the Country Club, tennis courts, golf course and pool. Knotty-pine walls & ceilings. 3bd, 1-1/2ba, 1500sf, with bonus room, gas log fireplace, plus wall-mount heater and "swamp" cooler. Deck has a ramp. \$220,000 #20150327



19555 Chaffee Cir-1/101 CUSTOM HOME near Dunn Court beach. 3bd, 2-1/2 bath, 2064sf. Free-standing fireplace in living room. Formal dining, downstairs family room & private deck off master bedroom. Double-pane windows, A/C & forced-air heating, dual sinks, vanity & jetted tub. Finished, oversized garage, with cabinets, shelves and workbench. \$285,000 #20141424



Corcoran-Gray Rd, Big Oak Flat SPECTACULAR SETTING with over 3/4 mile Lake Frontage, multiple hill-top sites with views of the lake. Graded roadway access, 4x4 recommended. Artesian water, Boat access via Moccasin Creek Marina. Just a short distance to Yosemite Park and multiple recreational opportunities in the Mother Lode. Fantastic opportunity to own a part of the gold county! \$349,900 #20150221



12600 Cresthaven-4/45 A PERFECT LOCATION. Near the Lake Lodge beach and tennis courts. Two-level home, with open kitchen & dining area. 3bd, 3ba, 2100sf. Central h/a, woodstove, jetted tub. Additional space downstairs can be used as bonus or 4th bdrm. Large covered deck and garage to accommodate an RV or boat! Established vacation rental. Most furniture incl. \$275,000 #20140445

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12346 Mills-8/90 LAKE VIEW POSSIBLE by thinning some trees. Seller says the lake view is what sold them on this home years ago, but trees have grown and blocked the view. Three-levels, double-pane windows, granite kitchen counters, bonus room, wood fireplace, 3bd, 2ba, walk-in master closet & garden tub. Lg deck, paved driveway & 1-car garage. \$199,900 #20140951



20808 Crest Pine-3/481 LOOKS LIKE NEW! Spacious, single-level home, with granite counters, pellet stove, central H/A, jetted tub in master bath. Covered patio, surrounded by lovely oak trees. Near Fisherman's Cove, tennis, Lake Lodge, beach and Equestrian Center. \$268,999 #20130184



19162 Dyer Ct-5/271 A RARE OPPORTUNITY to own at Oak Tree Condominiums! Upstairs unit includes all furniture. Vaulted ceilings, light & airy. Great getaway, with vacation rental potential or a nice full-time residence. View the golf course from a large back deck. Near Country Club, Pro-Shop, Pool & Tennis. Minutes from town. This is a real gem--Turn-key! \$125,000 #20150015



20019 Blue Bell Ct-13/56 SIMPLY ADORABLE CABIN. Two-story, 3bd, 2ba. Get a cozy, country feeling, with a wood-burning stove and loft master bedroom. Lovely woodsy setting, quiet cul-de-sac location and minutes from the main Marina, lake & beach. Wonderful for vacationing, full-time living or investment. Established vacation rental with repeat guests. Short Sale--Subject to lender approval. \$150,000 #20141997



12891 Boitano Rd SUBSTANTIAL LAKE VIEW from the top of this lot. Access via Quail Ridge Easement, off Nob Hill Circle. Sewered 1/4 acre. Owner financing available. Call for details. \$62,000 #20121394

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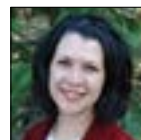
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BREF 01106544



LIZ MATTINGLY
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TED BIANCHI
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BRE #01318805



PAULA BIANCHI
REALTOR
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ROY NAVARRO
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CORY STONE
PHOTOGRAPHER
VIDEOGRAPHER